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Attorneys for Defendants  
 CITY AND COUNTY OF SAN FRANCISCO;  
 WILLIAM HUGHEN; KEVIN BIRMINGHAM; NATALIA FOSSI  
 (ERRONEOUSLY SUED AS NATALIA KWAITKOWSKA);  
 MAURICIO HERNANDEZ; and JOE DUFFY

UNITED STATES DISTRICT COURT  
 NORTHERN DISTRICT OF CALIFORNIA

PATRICK GALLAGHER,

Plaintiff,

vs.

CITY AND COUNTY OF SAN  
 FRANCISCO, BERNARD CURRAN,  
 RODRIGO SANTOS, WILLIAM HUGHEN,  
 KEVIN BIRMINGHAM, NATALIA  
 KWAITKOWSKA, AND JOE DUFFY,

Defendant.

Case No. 23-cv-03579-SI (JCS)

**DECLARATION OF KEVIN BIRMINGHAM  
 IN SUPPORT OF DEFENDANTS'  
 OPPOSITION TO PLAINTIFF'S MOTION  
 FOR SUMMARY JUDGMENT (Fed. R. Civ. P.  
 56)**

Hearing Date: December 19, 2025  
 Time: 10:00 a.m.  
 Place: Videoconference

Trial Date: February 17, 2026

**DECLARATION OF KEVIN BIRMINGHAM**

I, Kevin Birmingham, declare as follows:

1. I am over the age of eighteen and I have personal knowledge of the matters stated in this declaration, unless otherwise stated. If called upon to testify, I could and would testify competently to the contents of this declaration.

2. I am currently employed by the San Francisco Department of Building Inspection ("DBI"), a department of the City and County of San Francisco ("City"). I have been employed by DBI since 2016. My current title at DBI is Chief Building Inspector. I have held this position for approximately a year and a half.

3. Prior to becoming the Chief Building Inspector, I was a Senior Building Inspector. I held this position from approximately 2019 to 2024.

4. In approximately June 2021, I was assigned to assist in DBI's inspection efforts at a property located at 200 Naples Street, San Francisco, California ("the Property"). It is my understanding that Plaintiff was the owner of the Property the time I assisted in DBI's enforcement efforts.

5. The first I recall being involved with any enforcement at the Property was a meeting that occurred on or about January 21, 2022. The meeting was attended by me, then Senior Building Inspector Mauricio Hernandez and Plaintiff.

6. Prior to the meeting I reviewed all active permits for the Property. The active permit was numbered "PA 201810183586." I have reviewed PA 201810183586 and know that the work for that permit was to comply with a Notice of Violation ("NOV"), numbered 201895477.

7. Prior to the meeting I reviewed NOV number 201895477. That NOV was issued to Plaintiff for working without a permit. Specifically, that Plaintiff was attempting to install dormers without proper permits as well as Structural modifications to the roof and floor system.

8. Prior to the meeting, I reviewed a prior NOV that had been issued on the Property on May 17, 2021 by DBI Inspector Thomas Keane. That NOV was numbered 202175602 and was for working under an expired permit. I also reviewed amended NOV number 202175602 authored by Hernandez.

1           9.       At the January 21, 2022 meeting, I observed many aspects of the condition of the  
2 Property that did not match the building plans that were submitted and approved by DBI for PA  
3 201810183586. It is important for general contractors and property owners to follow the plans that are  
4 submitted to DBI. This way, DBI can ensure that any construction related activities conducted in the  
5 neighborhoods of San Francisco is done in a safe and workmanlike manner.

6           10.      Given the number of items that deviated from the approved plans, Hernandez and I  
7 divided handling of the issues. I handled the issues with the windows of the property, while Hernandez  
8 handled the remaining issues.

9           11.      The issues with the windows pertained to windows on the front and the rear of the  
10 Property.

11           12.      The windows on the front of the Property did not meet the egress requirements as  
12 outlined in California Building Code sections 1031.3.1, 1031.3.2 and 1031.3.3. Per Building Code  
13 section 1031.3.1, "*The minimum net clear height opening shall be 24". The minimum net clear width*  
14 *dimension shall be 20"* and must have a net clear opening of 5.7 square feet. The spirit behind  
15 Building Code section 1031.3.1 is to allow for a window to open wide enough such that a firefighter,  
16 or other first responder, can fit through it in the event of an emergency. This code pertains to a health  
17 and safety issue aimed to prevent death and serious injury. I advised Plaintiff that he could change the  
18 windows on each gable to meet the egress requirements from a bedroom. He did subsequently change  
19 these windows to meet the egress requirement.

20           13.      The windows on the back of the property were within three feet of the property line.  
21 When windows are within five feet of a property line, they must be "45 minute rated windows." This  
22 specific type of window is designed to prevent the spread of a fire and is required within 5 feet of a  
23 property line due to the proximity of adjacent buildings and the risk a fire could easily spread between  
24 buildings of such close proximity.

25           14.      I reviewed the building plans submitted in connection with this property. In those plans,  
26 Plaintiff attested that he would use "45 minute rated windows" in his project. Attached hereto as  
27 Exhibit A is a true and accurate copy of the attestation signed by Plaintiff.  
28



1           15. I issued a "Correction Notice and Report" for the issues with the windows described  
2 above. DBI inspectors may issue a "Correction Notice" when a problem falls short of a NOV, but DBI  
3 will issue an NOV should the property owner or contractor fail to correct the items described in the  
4 "Correction Notice." The "Correction Notice" I issued is attached hereto as Exhibit B.

5           16. I was not personally involved with any of the enforcement done at the Property other  
6 than the windows.

7           17. I considered the issues described above to be potentially serious life and safety issues.  
8 Any enforcement I, or any other DBI employee I interacted with, was only done to ensure Plaintiff's  
9 project was done consistent with the submitted plans and the applicable laws governing Plaintiff's  
10 project at 200 Naples St.

11           18. On or about May 4, 2022, I attended a meeting with an individual named Ernest Jones,  
12 who at the time was an aide to then San Francisco Supervisor Ahsha Safai. The meeting was also  
13 attended by DBI employees Joe Duffy, Matt Greene and Hernandez. During the meeting, all of the  
14 DBI employees explained to Plaintiff the corrections to the Property that DBI required in order to  
15 obtain final approval on the project. Plaintiff responded with accusations that the DBI employees were  
16 acting improperly respect to enforcement at the property. Then Supervisor Safai did not attend the  
17 meeting. I never spoke with Supervisor Safai before or after the meeting regarding the property.

18           19. At the time of the above described events, Defendant Joe Duffy was my supervisor at  
19 DBI. At no time did Duffy instruct or direct me to retaliate against Plaintiff in any way.

20           20. I worked with Defendant Bernie Curran. Curran never supervised me. I never had  
21 anything other than a professional relationship with Curran. We did not socialize outside of work.


22           21. I never worked with Defendant Rodrigo Santos. Santos never supervised me. I never  
23 had anything other than a professional relationship with Santos. We did not socialize outside of work.

24           22. I do not believe I ever met Plaintiff prior to this project. I did not know that Plaintiff  
25 spoke with the FBI prior to June 8, 2021, when amended NOV 202175602 was issued. Some time  
26 after amended NOV 202175602 was issued, I learned Plaintiff claimed he had spoken with the FBI  
27 about Bernie Curran and Rodrigo Santos. Plaintiff was the only source of this information.  
28



1 I declare under penalty of perjury under the laws of the United States that the foregoing is true  
2 and correct.

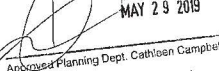
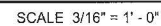
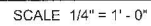
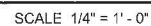
3 Executed this 17 day of November 2025, at San Francisco, California.

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6 KEVIN BIRMINGHAM  
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# Exhibit A







**REVISIONS:**

1	New roof dormers under separate permit.
2	Window details and operation City
3	Window & roof dormer size City
4	Interior Area calculations- City

Bill Manfredi & Assoc.,  
Planner, Danville, Ca. *pm* G.S.BLOCK INV. LLC.  
EXISTING 1st, 2nd & 3rd FLOOR PLANS  
Ph: 925-413-7612  
EXISTING EXTERIOR ELEVATIONS  
E-mail: bill.manfredi@att.net Pat Gallagher, P.O. BOX 523, BYRON, CA. 94514  
Ph: 925-325-3911, E-mail: bigblockpat@gmail.com

Addition & Renovation at  
200 Naples St. San Francisco, Ca. 94112  
for owner: Pat Gallagher, Ph # 925-325-3911

Drawn by: Amilio Garcia
DATE ISSUED May, 2019
SHEET 2 OF 3 SHEETS



REVISIONS:  
1 New roof dormers under separate permit.  
2 Window details and operation City  
3 Window & roof dormer size City  
4 Interior Area calculations- City

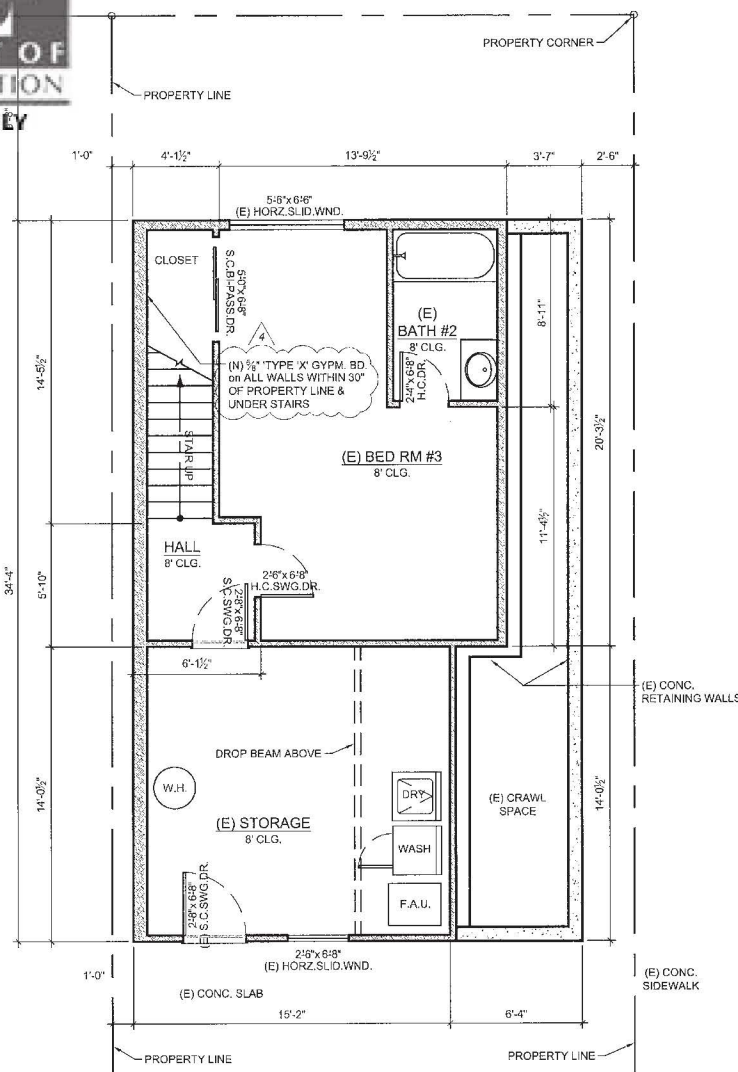
Bill Manfredi & Assoc.  
Planner, Danville, Ca. 94514  
Ph: 925-413-7612 at Gallagher, P.O. BOX 523, BYRON, CA. 94514  
E-mail: bill.manfredi@att.net; 925-325-3911, E-mail: bigblockpat@gmail.com

APPROVED  
JUN 11 2019  
TOM C. HILL S.E.  
DIRECTOR  
DEPT. OF BUILDING INSPECTION

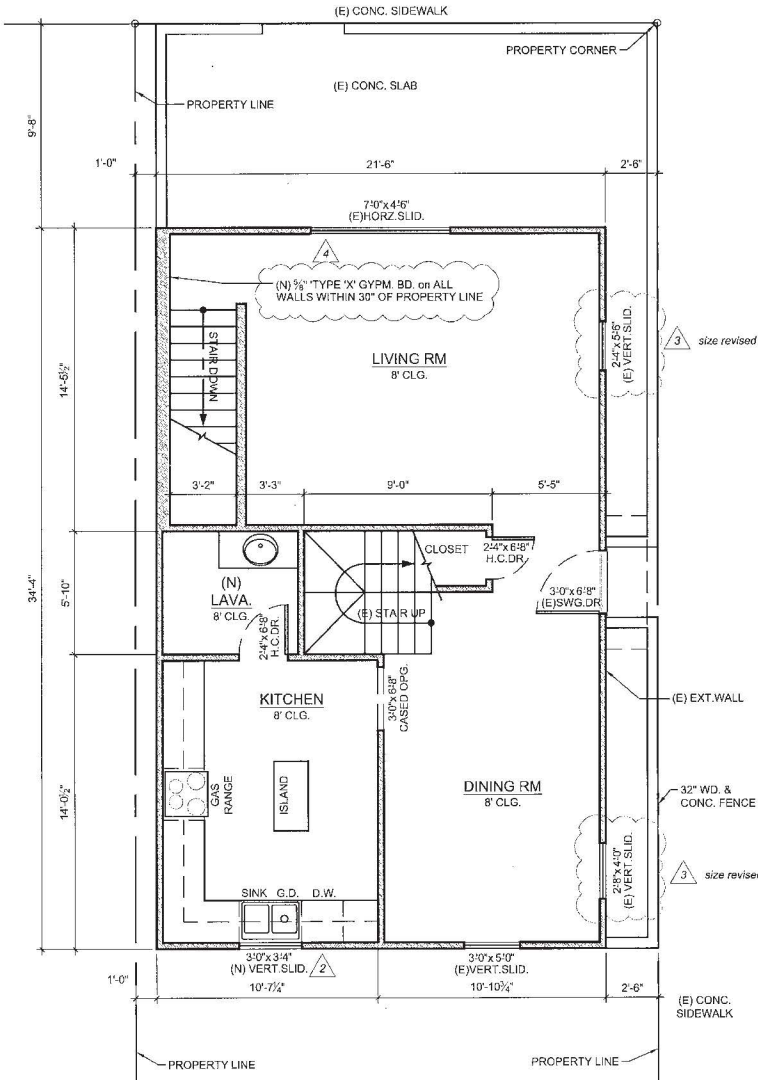
RECEIVED  
MAY 23 2019  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR MARKING  
Stephen Leung, DBI

Drawn by:  
Amilio Garcia  
DATE ISSUED  
May, 2019  
SHEET  
3  
OF SHEETS  
3

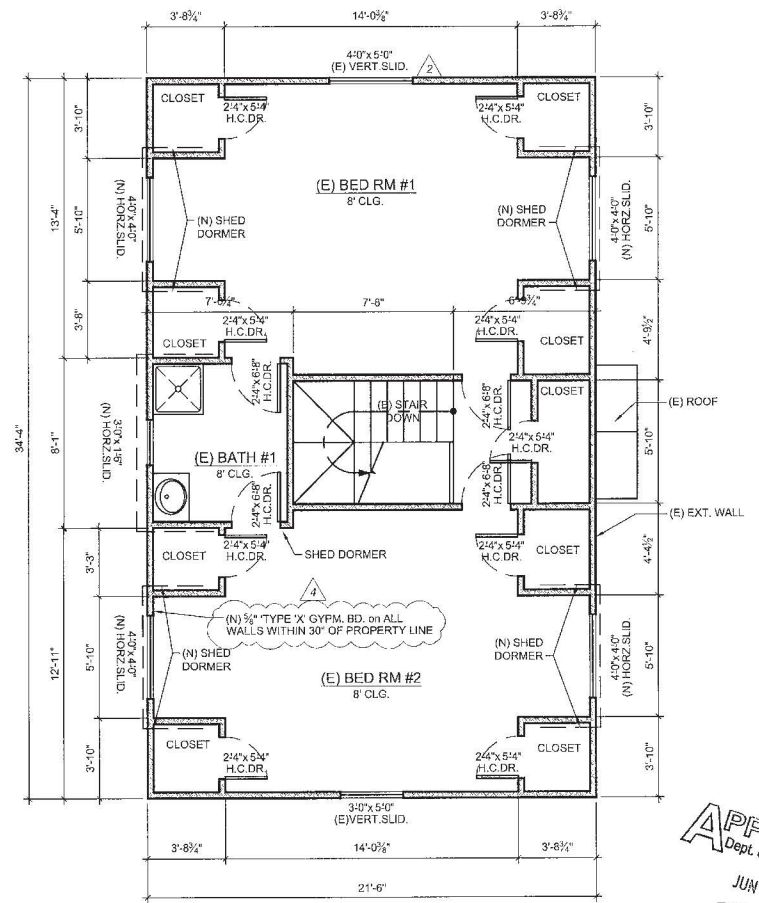
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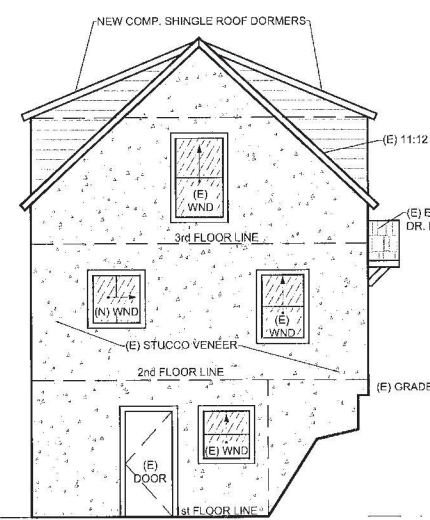
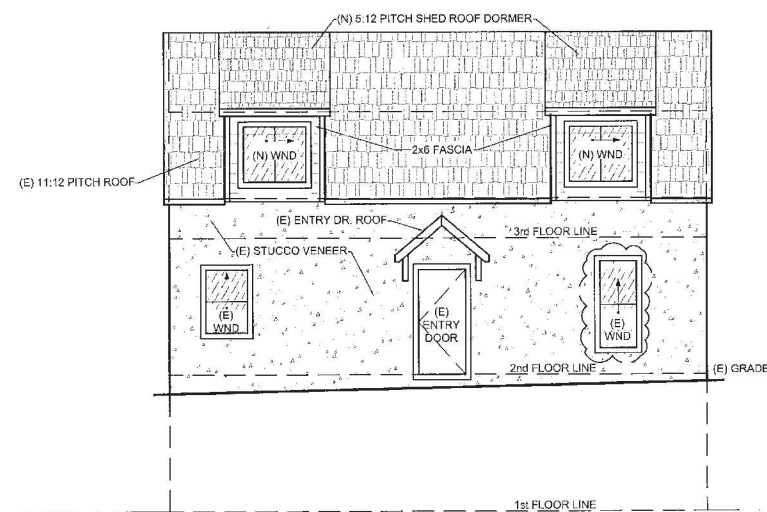
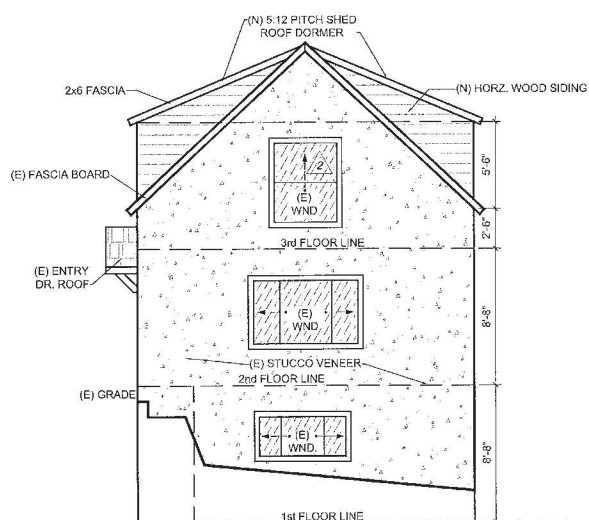
1 1st FLOOR PLAN (LOWER)  
SEE M.E.P. SYMBOLS ON SHEET #3  
SCALE 1/4" = 1' - 0"



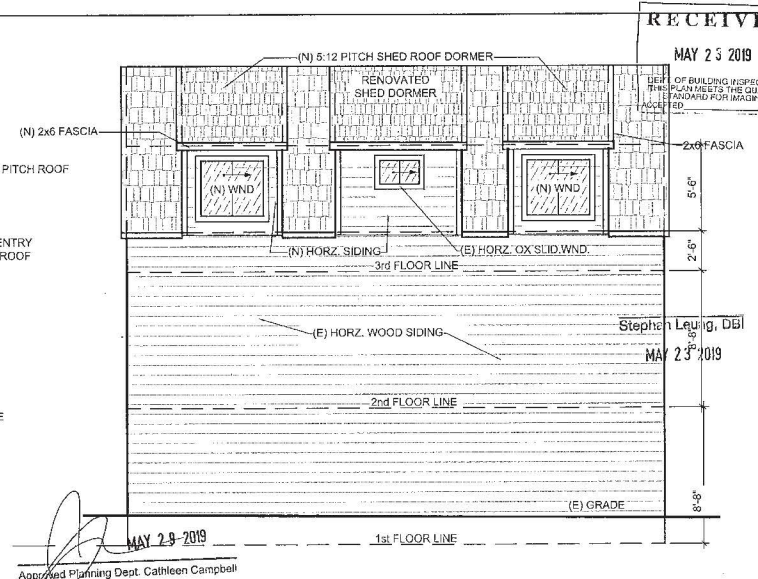
2 2nd FLOOR PLAN (MIDDLE)  
SEE M.E.P. SYMBOLS ON SHEET #3  
SCALE 1/4" = 1' - 0"



3 3rd FLOOR PLAN (UPPER)  
SEE M.E.P. SYMBOLS ON SHEET #3  
SCALE 1/4" = 1' - 0"



4 PROPOSED EXTERIOR ELEVATION - NAPLES AVE.  
SCALE 3/16" = 1' - 0"



APPROVED  
MAY 23 2019  
Approved Planning Dept. Cathleen Campbell



SAN FRANCISCO ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
AB	ANCHOR BOLT
ADD	ADDITIONAL
FOR OFFICE USE ONLY	ANCHOR ROD
BLKG	BLOCKING
BM	BEAM
BTWN	BETWEEN
CL	CENTER LINE
CLR	CLEAR OR CLEARANCE
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION(S)
CONT	CONTINUOUS
CTR	CENTER
CTRSK	COUNTERSINK
db	DIAMETER OF BOLT OR REBAR
DEMO	DEMOLISH
DF	DOUGLAS FIR
DIA	DIAMETER
DIM(S)	DIMENSION(S)
DWG(S)	DRAWING(S)
EA	EACH
EF	EACH FACE
EMBED	EMBEDMENT
EN	EDGE NAIL
EQ	EQUAL
EXP	EXPANSION
FN	FIELD NAILING
FND	FOUNDATION
FTG	FOOTING
GA	GAGE, GAUGE
GALV	GALVANIZED
GEN	GENERAL
HDR	HEADER
HGR	HANGER
HK	HOOK
HORIZ	HORIZONTAL
HSS	HOLLOW STRUCTURAL STEEL
INFO	INFORMATION
LONG	LONGITUDINAL
MAX	MAXIMUM
MB	UNFINISHED MACHINE BOLT
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
N/A	NOT APPLICABLE
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OH	OPPOSITE HAND
OPNG(S)	OPENING(S)
PL	PLATE
PLY	PLYWOOD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
REINF	REINFORCE(D) (ING) OR (MENT)
REQD	REQUIRED
REV	REVISION
SCHED	SCHEDULE
SEOR	STRUCTURAL ENGINEER OF RECORD
SIM	SIMILAR
SOG	SLAB ON GRADE
SQ	SQUARE
STAGGD	STAGGERED
STD	STANDARD
T&B	TOP AND BOTTOM
TO	TOP OF
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WF	WIDE FLANGE

I. GENERAL REQUIREMENTS

A. THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THE MEANS, METHODS, PROCEDURES AND SEQUENCE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.

B. DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF PERSONNEL AND PROPERTY ON AND AROUND THE JOBSITE. THE CONTRACTOR SHALL PROVIDE SHORING, BRACING, GUYS, ETC. IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL STANDARDS.

C. ALL CONSTRUCTION, TESTING, AND INSPECTIONS SHALL CONFORM TO THE BUILDING CODE REFERENCED UNDER THE HEADING 'BASIS OF DESIGN' BELOW.

D. STANDARDS REFERENCED IN THESE DRAWINGS SHALL BE THE LATEST EDITION, UNLESS OTHERWISE NOTED.

E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE SEOR.

F. DO NOT SCALE THE DRAWINGS; USE WRITTEN DIMENSIONS ONLY. WHERE NO DIMENSIONS ARE PROVIDED OR WHERE DIMENSIONS PROVIDED CONFLICT WITH OTHER DRAWINGS, CONSULT THE SEOR.

G. WHERE MEMBER LOCATIONS ARE NOT DIMENSIONED, MEMBERS SHALL BE LOCATED ON COLUMN LINES OR EQUALLY SPACED BETWEEN MEMBERS ON COLUMN LINES OR BETWEEN MEMBERS OTHERWISE LOCATED. CENTERLINES OF COLUMNS, WALLS, FRAMING MEMBERS, AND FOUNDATIONS COINCIDE WITH GRIDLINES, UNLESS OTHERWISE NOTED.

H. TYPICAL DETAILS ARE INTENDED TO APPLY TO APPLICABLE SITUATIONS, UNLESS OTHERWISE NOTED. TYPICAL DETAILS MAY NOT BE SPECIFICALLY LOCATED.

I. DETAILS SHALL BE APPLIED TO EVERY LIKE CONDITION WHETHER OR NOT THEY ARE REFERENCED IN EVERY INSTANCE. FOR CONDITIONS NOT SPECIFICALLY SHOWN, USE DETAILS SIMILAR TO THOSE PROVIDED.

J. CONTRACTOR SHALL COORDINATE SEWER AND UTILITY LINE LOCATIONS WITH THE FOUNDATION LOCATIONS AND SIZES SHOWN ON THE STRUCTURAL DRAWINGS. ANY INTERFERENCE BETWEEN SEWER/UTILITY LINES AND FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE SEOR BEFORE PROCEEDING WITH THE WORK.

K. THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTION LOADS DO NOT EXCEED THE CAPACITY OF THE STRUCTURE AT THE TIME THE LOADS ARE PLACED.

II. EXISTING CONSTRUCTION

A. WORK SHOWN IS NEW UNLESS OTHERWISE NOTED AS EXISTING, (E).

B. EXISTING CONSTRUCTION SHOWN IN THESE DRAWINGS WAS OBTAINED FROM LIMITED SITE INVESTIGATIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE SEOR OF ALL DISCREPANCIES AND EXCEPTIONS BEFORE PROCEEDING WITH THE WORK.

C. THE REMOVAL, CUTTING, DRILLING, ETC. OF EXISTING WORK SHALL BE PERFORMED WITH GREAT CARE AND SMALL TOOLS IN ORDER TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING. IF EXISTING STRUCTURAL MEMBERS NOT INDICATED FOR REMOVAL INTERFERE WITH THE NEW WORK, THE SEOR SHALL BE NOTIFIED IMMEDIATELY. APPROVAL SHALL BE OBTAINED PRIOR TO REMOVAL OF THE EXISTING MEMBERS.

D. THE CONTRACTOR SHALL SAFELY SHORE EXISTING CONSTRUCTION WHEREVER EXISTING SUPPORTS ARE REMOVED TO ALLOW INSTALLATION OF THE NEW WORK. THE EXISTING CONSTRUCTION SHALL BE CONNECTED AND/OR EMBEDDED INTO THE NEW CONSTRUCTION AS SHOWN OR SPECIFIED.

E. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BEFORE BEGINNING WORK. SPECIAL CARE SHALL BE TAKEN TO PROTECT UTILITIES THAT ARE TO REMAIN IN SERVICE DURING CONSTRUCTION.

F. THE CONTRACTOR SHALL PROMPTLY REPAIR DAMAGE CAUSED DURING OPERATIONS WITH SIMILAR MATERIALS AND WORKMANSHIP.

G. THE CONTRACTOR SHALL LOCATE EXISTING REINFORCING STEEL WHERE EXISTING CONCRETE IS TO BE CUT, CORED OR SAWN. LOCATION SHALL BE DONE USING A NON-DESTRUCTIVE METHOD. DO NOT DAMAGE EXISTING REINFORCING WITHOUT NOTIFYING THE SEOR.

III. BASIS OF DESIGN

A. THE STRUCTURAL DESIGN OF THIS PROJECT IS GOVERNED BY THE 2016 CALIFORNIA BUILDING CODE (CBC) WITH 2016 SAN FRANCISCO BUILDING CODE AMMENDMENTS.

B. RISK CATEGORY = II

C. LIVE LOADS:  
1. FLOOR = 40 PSF  
2. ROOF = 20 PSF

D. WIND DESIGN DATA:  
1. V = 110 MPH  
2. EXPOSURE CATEGORY = B  
3. Kzt = 1.0

E. SEISMIC DESIGN DATA:  
1. I = 1.0  
2. SDS = 1.134  
3. SD1 = 0.785  
4. SITE CLASS = D  
5. SEISMIC DESIGN CATEGORY = E  
6. R = 6.5 FOR PLYWOOD SHEAR WALLS  
7. ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE  
8. REDUNDANCY FACTOR = 1.3

IV. FOUNDATIONS

A. FOUNDATIONS ARE DESIGNED IN ACCORDANCE WITH CHAPTER 18 TABLE 1806.2 OF THE 2016 CBC.

B. SPREAD FOOTINGS HAVE BEEN DESIGNED ASSUMING AN ALLOWABLE BEARING PRESSURE OF 1500 PSF WITH A ONE-THIRD INCREASE FOR SEISMIC LOADING.

V. CONCRETE

A. MIXING, BATCHING, TRANSPORTING AND PLACING OF ALL CONCRETE SHALL CONFORM TO ACI 301, SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS.

B. ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED.

C. ALL CONCRETE SHALL USE TYPE II OR II/ cement.

D. THE SCHEDULE BELOW INDICATES THE MINIMUM CONCRETE DESIGN MIX REQUIREMENTS. SEE THE SPECIFICATIONS FOR ADDITIONAL CONCRETE PROPERTIES.

TYPE	LOCATION	MINIMUM 28-DAY STRENGTH (PSI)	MAXIMUM WEIGHT (PCF)
A	FOOTINGS	2500	150
B	SLAB ON GRADE	2500	150

E. SLAB-ON-GRADE CONCRETE SHALL HAVE A MAXIMUM WATER-CEMENT RATIO OF 0.45

F. CONCRETE CLEAR COVER OVER MILD REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:

- CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3"
- CONCRETE EXPOSED TO EARTH OR WEATHER:
  - NO. 5 BARS AND SMALLER = 1-1/2"
  - NO. 6 BARS AND LARGER = 2"
- CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
  - SLABS, WALLS, JOISTS:
    - NO. 11 BARS AND SMALLER = 3/4"
  - BEAMS, COLUMNS:
    - PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS = 1-1/2"

G. NON-SHRINK GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 6000 PSI AT 28 DAYS.

VI. REINFORCING STEEL

A. ALL REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615 AND ASTM A706 WHERE REQUIRED; ALL BARS TO BE GRADE 60 UNLESS OTHERWISE NOTED.

B. DETAIL REINFORCING STEEL BASED ON THE PROJECT REQUIREMENTS, ACI 318, AND ACI 315.

C. TERMINATION OF REINFORCEMENT:  
1. TERMINATE ALL BARS IN LAPS, 90 DEGREE BENDS OR WITH DOWELS EPOXIED INTO EXISTING CONCRETE.

D. WHERE A 90 DEGREE, 135 DEGREE OR 180 DEGREE HOOK IS GRAPHICALLY INDICATED, PROVIDE CORRESPONDING ACI STANDARD HOOK PER DETAILS 2 AND 3/55.0

E. SPLICES  
1. LAP REINFORCING STEEL AS SPECIFICALLY DETAILED ON THE DRAWINGS. SEE REBAR OFFSET AND LAP SPLICE SCHEDULE IN DETAIL 7/55.0  
2. UNLESS OTHERWISE NOTED, ALL LAP SPLICES ARE TO BE CLASS B.  
3. MECHANICAL SPLICES, IF USED AT CONTRACTOR'S OPTION, SHALL BE ICC-ES APPROVED AND CAPABLE OF DEVELOPING 125% OF THE SPECIFIED MINIMUM YIELD STRENGTH OF THE BAR IN TENSION OR COMPRESSION.

VII. WOOD

A. ALL WOOD FRAMING SHALL CONFORM TO NATIONAL DESIGN SPECIFICATIONS (NDS) FOR WOOD CONSTRUCTION AND APA PDS, PLYWOOD DESIGN SPECIFICATION.

B. ALL WOOD FRAMING SHALL BE DOUGLAS FIR LARCH. GRADE SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:  
1. JOISTS = NO. 2  
2. BEAMS = NO. 2  
3. WALL STUDS = NO. 2  
4. SILL PLATES = PRESSURE TREATED, NO. 2  
5. TOP PLATES = NO. 2  
6. POSTS = NO. 2  
7. BLOCKING AND MISCELLANEOUS = NO. 2

C. UNLESS OTHERWISE NOTED ON PLAN, LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,900 PSI, E = 2,000,000 PSI. PARALLEL STRAND LUMBER (PSL) MAY BE USED IN LIEU OF LVL AND SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,900 PSI, E = 2,000,000.

D. ALL LUMBER IN CONTACT WITH CONCRETE 0'-8" OR LESS ABOVE THE GROUND SHALL BE PRESSURE TREATED.

E. MAXIMUM MOISTURE CONTENT SHALL BE 15% AT TIME OF FRAMING FOR NEW WOOD MEMBERS ADJACENT TO EXISTING WOOD MEMBERS. ALL OTHER MEMBERS SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF FRAMING. REFER TO ARCHITECTURAL DRAWINGS, PROJECT SPECIFICATIONS AND CLADDING MANUFACTURERS' INFORMATION FOR MORE STRINGENT MOISTURE CONTENT REQUIREMENTS.

F. STRUCTURAL SHEATHING SHALL BE AS FOLLOWS (MIN THICKNESS AND MIN APA RATING):

- WALLS = 1/2", SPAN RATING = 32/16, STRUCT 1, EXPOSURE 1
- FLOORS = 3/4", SPAN RATING = 32/16, STRUCT 1, EXPOSURE 1
- ROOFS = 5/8", SPAN RATING = 32/16, STRUCT 1, EXPOSURE 1

G. WOOD CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE OR EQUAL PRODUCT IF APPROVED BY SEOR. SIMPSON DESIGNATIONS USED IN THESE DRAWINGS.

H. NAILS SHALL BE COMMON WIRE GAGE, UNLESS OTHERWISE NOTED AND CONFORM TO CBC TABLE 2304.9.1.

I. LAG BOLTS AND UNFINISHED MACHINE BOLTS SHALL CONFORM TO ASTM A307, PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.

J. ANCHOR RODS SHALL CONFORM TO ASTM F1554 GR 36.

K. FASTENERS INSTALLED IN PRESSURE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE GALVANIZED.

VIII. POST-INSTALLED ANCHORS

A. DO NOT DAMAGE OR CUT EXISTING REINFORCING STEEL WHILE INSTALLING POST-INSTALLED ANCHORS. NOTIFY SEOR IF EXISTING REINFORCING STEEL INTERFERES WITH INSTALLATION OF POST-INSTALLED ANCHORS.

B. ALL MIS-DRILLED OR UNACCEPTABLE HOLES SHALL NOT BE USED AND SHALL BE GROUTED SOLID.

C. ALL POST-INSTALLED ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE ICC-ES REPORT AND MANUFACTURER'S RECOMMENDATIONS.

D. PROVIDE SPECIAL INSPECTION FOR THE INSTALLATION OF ALL POST-INSTALLED ANCHORS, UNLESS OTHERWISE NOTED.

- E. EPOXY ANCHORS AND REINFORCING STEEL DOWELS
- FOR INSTALLATION IN CONCRETE, EPOXY SHALL BE ONE OF THE FOLLOWING:
    - SET-XP PER ICC-ES ESR-2508 AS MANUFACTURED BY SIMPSON STRONG TIE
    - HIT-RE 500-SD PER ICC-ES ESR-2322 AS MANUFACTURED BY HILTI, INC.
    - HY-200 MAX-SD PER ICC-ES ESR-2013 AS MANUFACTURED BY HILTI, INC.
  - EPOXIED ANCHOR RODS SHALL BE CARBON STEEL THREADED RODS PER APPROPRIATE ICC-ES REPORT; EPOXIED REINFORCING STEEL DOWELS SHALL BE ASTM A615 GR 60 UNLESS OTHERWISE NOTED.
  - MINIMUM ANCHOR EMBEDMENT AND TENSION TEST VALUES ARE AS FOLLOWS:

EPOXY ANCHORS IN NORMAL-WEIGHT CONCRETE (F <sub>c</sub> = 3000 PSI MIN)				
REBAR SIZE	EMBED (IN)	TENSION TEST VALUE (LBS)		
		HY-200 MAX-SD	HIT-RE 500-SD	SET-XP
#3	3	3380	3510	3400
#4	4	6010	6150	5690
#5	5	9940	9330	7640
#6	6	13660	12860	9770

EPOXY ANCHORS IN NORMAL-WEIGHT CONCRETE (F <sub>c</sub> = 3000 PSI MIN)				
THREADED ROD DIAMETER (IN)	EMBED (IN)	TENSION TEST VALUE (LBS)		
		HY-200 MAX-SD	HIT-RE 500-SD	SET-XP
3/8	3	3360	3510	3620
1/2	4	6010	6150	5690
5/8	5	9440	9330	7640
3/4	6	7120	12860	9770

IX. COLD-FORMED STEEL FRAMING

A. ALL COLD-FORMED STEEL SHALL CONFORM TO AISI STANDARDS.

B. MATERIALS:  
1. STRUCTURAL STEEL SECTIONS: 54-, 68-, 97- MIL PER ASTM A653 GR. D OR ASTM A1011 GR. 50; 33- AND 43- MIL PER ASTM A653 GR. A OR ASTM A1011 GR. 33.  
2. SHEET METAL SCREWS = GRABBER SELF-DRILLING OR ALTERNATIVE IN ACCORDANCE WITH ASTM C1513.  
3. ALL PREFABRICATED CLIPS AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE EQUAL. SIMPSON DESIGNATIONS USED IN DRAWINGS.

Stephan Leung, DEI  
MAY 23 2019

PROJECT:

200 NAPLES  
REMODEL AND  
DORMER ADDITION

OWNERS:

PATRICK GALLAGHER  
P.O. BOX 532  
BYRON, CA 94514

NO.	ISSUE:	DATE:

BASE  
DESIGN

562 MARKET ST. STE. 1402  
SAN FRANCISCO, CA 94104  
Office: (415) 466-2997  
www.BASEdesigninc.com



APPROVED  
Dept. of Building Insp.  
JUN 11 2019  
Tom C. Shi  
TOM C. SHI, S.E.  
DIVISION  
DEPT. OF BUILDING INSPECTION

RECEIVED

APR 29 2019

DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARDS FOR JUDGING  
ACCEPTED

DATE:	SCALE:	DRAWN:
04/24/2019	AS NOTED	TTD

ABBREVIATIONS  
AND GENERAL  
NOTES

S1.0

2018-1018-3586 R4



NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required *in addition* to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6132. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. *The permit will not be finalized without compliance with the special inspection requirements.*

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.5. **The building permit will not be finalized without compliance with the structural observation requirements.**

Special Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: [dbi.specialinspections@sfgov.org](mailto:dbi.specialinspections@sfgov.org)
4. In person: 3<sup>rd</sup> floor at 1660 Mission Street

**Note:** We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6132 - FAX (415) 558-6474 - [www.sfdbi.org](http://www.sfdbi.org)

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION  
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS: 200 Naples St. APPLICATION NO. ADDENDUM NO.  
OWNER NAME: OWNER PHONE NO.

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special Inspector shall be one of those as prescribed in Sec.1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.6. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Chapter 17 (SFBC), Special Inspection and/or testing is required for the following work:

1. ☐ Concrete (Placement & sampling)
2. ☐ Bolts installed in concrete
3. ☐ Special moment-resisting concrete frame
4. ☒ Reinforcing steel and prestressing tendons
5. Structural welding:
  - A. Periodic visual inspection
  - ☐ Single pass fillet welds 5/16" or smaller
  - ☐ Steel deck
  - ☐ Welded studs
  - ☐ Cold formed studs and joists
  - ☐ Shear and nailing system
  - ☐ Reinforcing steel
  - B. Continuous visual inspection and NDT (Section 1704)
    - i. All other welding (NDT exception: Fillet weld)
    - ☐ Reinforcing steel and ☐ NDT required
    - ☐ Moment-resisting frames
    - ☐ Others
6. ☐ High-strength bolting
7. ☐ Structural masonry
8. ☐ Reinforced gypsum concrete
9. ☐ Insulating concrete fill
10. ☐ Sprayed-on fireproofing
11. ☐ Piling, drilled piers and caissons
12. ☐ Shotcrete
13. ☐ Special grading, excavation
14. ☐ And filling (Geo. Engineered)
15. ☐ Smoke-control system
16. ☐ Demolition
17. ☐ Exterior Facing
17. Retrofit of unreinforced masonry buildings:
  - i. Testing of mortar quality and shear tests
  - ☐ Inspection of repointing operations
  - ☐ Installation inspection of new shear bolts
  - ☐ Pre-installation inspection for embedded bolts
  - ☐ Pull/torque tests per SFBC Sec. 1607C & 1615C
18. Bolts installed in existing concrete masonry:
  - A. Concrete ☒ Masonry
  - ☒ Pull/torque tests
19. ☒ Shear walls and floor systems used as shear diaphragms
20. ☒ Holdowns
21. Special cases:
  - A. Shoring
  - ☐ Underpinning: ☐ Not affecting adjacent property
  - ☐ Affecting adjacent property: PA
  - ☐ Others
22. ☐ Crane safety (Apply to the operation of Tower cranes on highrise building) (Section 1705.21)
23. ☐ Firestops in high-rise building
24. ☐ Others: "As recommended by professional of record"

25. Structural observation per Sec. 1704.6 for the following: ☒ Foundations ☐ Steel framing  
☐ Concrete construction ☐ Masonry construction ☐ Wood framing  
☐ Other:

26. Certification is required for: ☐ Glulam components  
Prepared by: KATHRYN BRIGGS Phone: 650 796-8290  
Engineer/Architect of Record

Required information: FAX: Email: KATY@BASEDESIGNINC.COM

Review by: DBI Engineer or Plan Checker Phone: (415) 558-  
\*\*\*\*\*

APPROVAL (Based on submitted reports.)

DATE DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO:  
Special Inspection Services (415) 558-6132; or, [dbi.specialinspections@sfgov.org](mailto:dbi.specialinspections@sfgov.org); or FAX (415) 558-6474

Revised 9-22-17

Revised 08-07-2017

PROJECT:  
200 NAPLES  
REMODEL AND  
DORMER ADDITION

OWNERS:  
PATRICK GALLAGHER  
P.O. BOX 532  
BYRON, CA 94514

NO.	ISSUE:	DATE:

BASE  
DESIGN

562 MARKET ST. STE. 1402  
SAN FRANCISCO, CA 94104  
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[www.BASEdesigninc.com](http://www.BASEdesigninc.com)



APPROVED  
Dept. of Building Insp.  
JUN 11 2019  
Tom C. Hul, S.E.  
DIRECTOR  
DEPT. OF BUILDING INSPECTION

RECEIVED  
APR 29 2019  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR MARKING  
ACCEPTED.


Stephan Leung, D.E.  
MAY 23 2019

DATE:	SCALE:	DRAWN:
04/24/2019	AS NOTED	TTD



TESTING AND  
INSPECTION

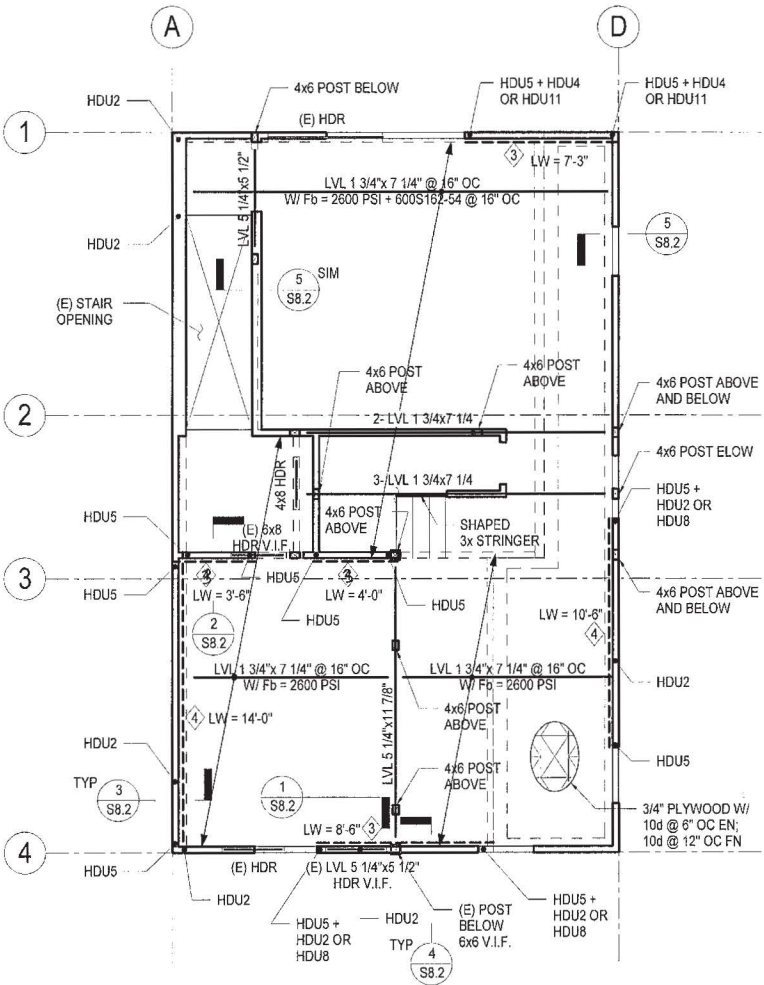
S1.1

FOUNDATION AND FRAMING PLAN NOTES:

1. SEE GENERAL NOTES AND TESTING AND INSPECTION ON SHEETS S1.0 AND S1.1.
2. SEE TYPICAL CONCRETE DETAILS ON S5.0.
3. SEE TYPICAL WOOD FRAMING DETAILS ON S8.0.
4. EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINE REQ'D BY THE SIZE AND SHAPE OF STRUCTURE.
5. VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY SEOR PRIOR TO EXCAVATION IN THE EVENT SUCH UTILITIES ARE ENCOUNTERED.
6. PROVIDE SILL BOLTS AT ALL NEW STUD WALLS PER DETAIL 1/S8.0.
7. HOLD DOWNS ARE SHOWN THUS ON PLAN: HDU2 SEE DETAIL 8/S8.1.
8. MARKS  INDICATE PLY WOOD SHEAR WALLS. PLYWOOD MAY BE INSTALLED ON EITHER SIDE OF WALL. SEE DETAIL 2/S8.1 FOR SHEAR WALL SCHEDULE.
9. NON-STRUCTURAL WALLS NOT SHOWN FOR CLARITY.
10. AT BEAMS MARKED "COLLECTOR" PROVIDE 10d @ 6" OC EDGE NAILING.
11. MARKS "HDR" INDICATE NEW HEADER BEAM AT NEW OPENING PER DETAIL 7/S8.0.
12. MARKS "LW = 12'-0\"" INDICATE MINIMUM LENGTH OF PLYWOOD SHEAR WALL.
13. FOR TYPICAL POST CONNECTIONS, SEE DETAILS ON S8.0.
14. PROVIDE THE FOLLOWING HANGERS WHERE REQUIRED:

LVL 1 3/4x7 1/4: HU7  
LVL 3 1/2x7 1/4: HU48  
2x8: LUS26  
4x6: LUS46  
4x8: LUS46  
4x12: LU410

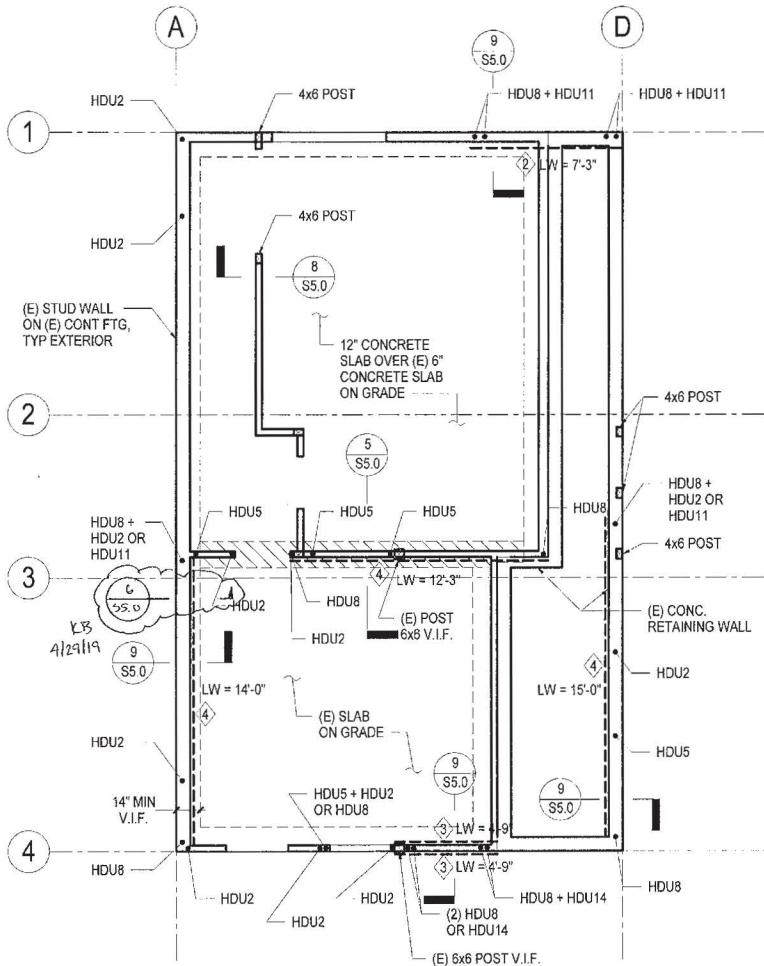
15. MARKS  INDICATE NEW FOOTING; ALL OTHER FOOTINGS ARE (E).
16. WHERE POST OCCURS ABOVE AND BELOW FLOOR, SEE DETAIL .
17. NEW STUD WALLS SHALL BE 2x4 @ 16" OC, U.O.N. ON PLAN OR IN ARCHITECTURAL DRAWINGS.



2 2ND FLOOR FRAMING PLAN



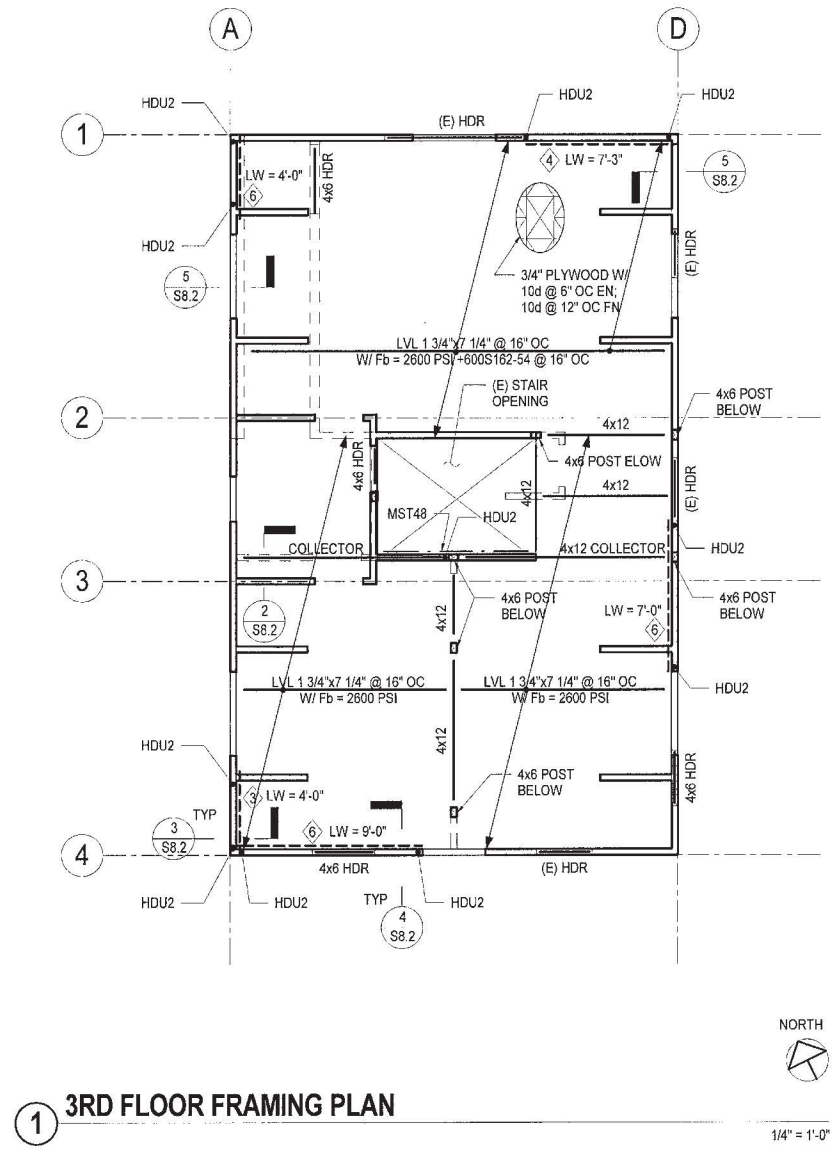
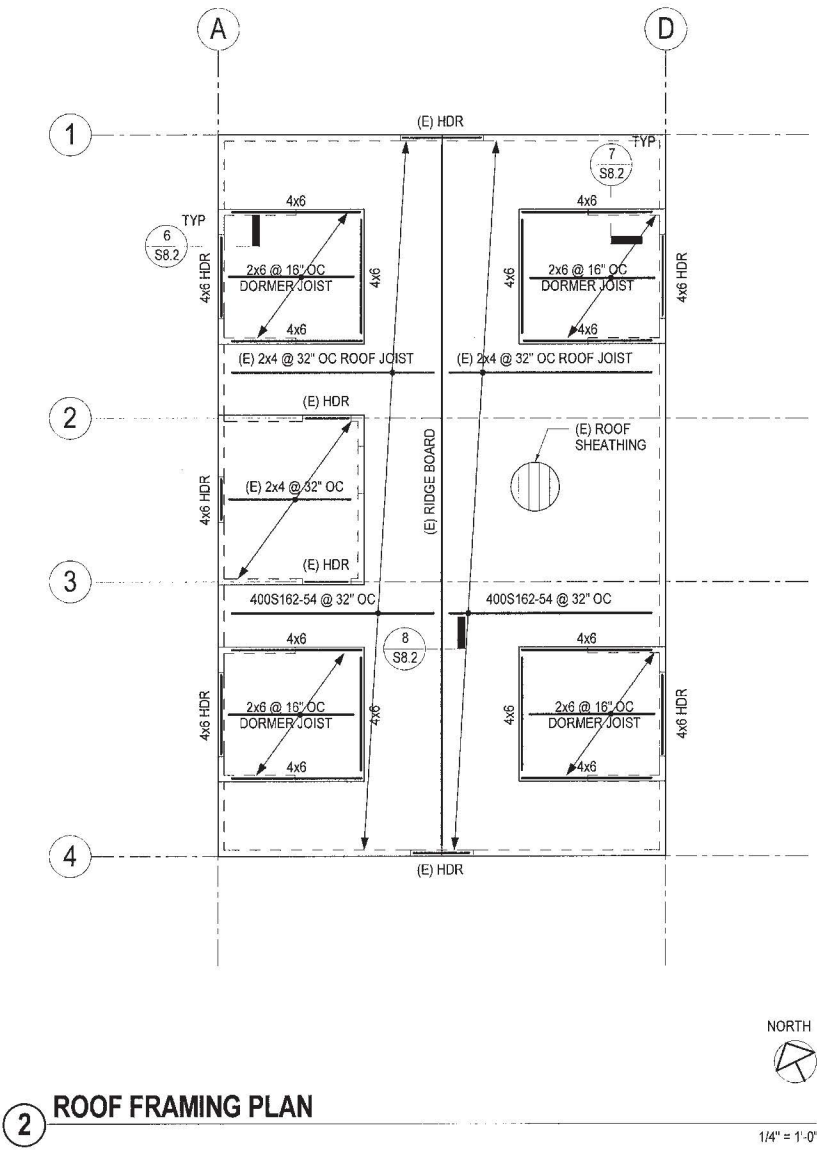
1/4" = 1'-0"





NOTES:

1. SEE FRAMING PLAN NOTES ON SHEET S2.0.
2. (E) NON-STRUCTURAL WALLS ARE NOT SHOWN FOR CLARITY.
3. PROVIDE 5/8" PLYWOOD W/ 10d @ 6" OC EN; 10d @ 12" OC FN AT DORMER ROOFS.



PROJECT:  
200 NAPLES  
REMODEL AND  
DORMER ADDITION

OWNERS:  
PATRICK GALLAGHER  
P.O. BOX 532  
BYRON, CA 94514

NO.	ISSUE:	DATE:

**BASE  
DESIGN**  
582 MARKET ST. STE. 1402  
SAN FRANCISCO, CA 94104  
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www.BASEdesigninc.com



**APPROVED**  
Dept. of Building Insp.  
JUN 11 2019  
TOM C. THORNTON  
DIRECTOR  
DEPT. OF BUILDING INSPECTION

**RECEIVED**  
APR 29 2019  
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3RD FLOOR AND  
ROOF FRAMING  
PLANS

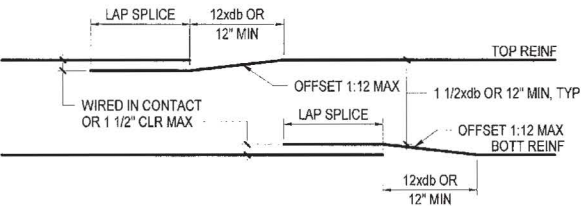
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Stephan Leung, L.P.  
MAY 23 2019

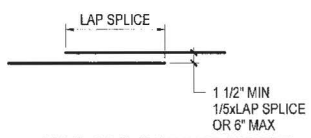


CONCRETE STRENGTH	REINFORCING CONFIGURATION	3000 PSI				4000 PSI			
		CASE 1		CASE 2		CASE 1		CASE 2	
		TOP	OTHER	TOP	OTHER	TOP	OTHER	TOP	OTHER
CLASS B LAP SPICE (INCHES)	#3	22	17	32	25	19	15	28	22
	#4	29	22	43	33	25	19	37	29
	#5	36	28	54	41	31	24	47	36
	#6	43	33	64	50	37	29	56	43
	#7	63	48	94	72	54	42	81	63
	#3	28	22	42	32	24	19	36	28
	#4	37	29	56	43	32	25	48	37
	#5	47	36	70	54	40	31	60	47
	#6	56	43	84	64	48	37	72	56
	#7	81	63	122	94	70	54	106	81

- NOTES:
- VALUES IN THE TABLE ARE FOR NON-EPOXY COATED GRADE 60 REINFORCING STEEL AND NORMAL WEIGHT CONCRETE.
  - CASES 1 AND 2 ARE DEPENDENT ON THE TYPE OF CONCRETE ELEMENT, CONCRETE COVER AND CENTER-TO-CENTER SPACING OF REINFORCING BARS. THEY ARE DEFINED AS:  
CASE 1:  
BEAM AND COLUMNS:  
- CONCRETE COVER  $\geq db$   
- CENTER-TO-CENTER SPACING  $\geq 2x db$  AND  
- STIRRUPS OR TIES PROVIDED THROUGHOUT  
OTHER ELEMENTS:  
- CONCRETE COVER  $\geq db$  AND  
- CENTER-TO-CENTER SPACING  $\geq 3x db$   
CASE 2:  
BEAM AND COLUMNS:  
- CONCRETE COVER  $< db$   
- CENTER-TO-CENTER SPACING  $< 2x db$   
OTHER ELEMENTS:  
- CONCRETE COVER  $< db$  AND  
- CENTER-TO-CENTER SPACING  $< 2x db$
  - TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF FRESH CONCRETE BELOW. OTHER BAR INCLUDE ALL VERTICAL REINFORCING, ALL HORIZONTAL WALL REINFORCING AND HORIZONTAL REINFORCING WITH LESS THAN 12" OF FRESH CONCRETE BELOW BAR.
  - PROVIDE CLASS B LAP SPICES, U.O.N.
  - SPICES OF HORIZONTAL REINFORCING BARS IN WALLS AND SLABS SHALL BE STAGGERED. SPICES OF HORIZONTAL REINFORCING BARS IN WALLS AND SLABS CONTAINING TWO CURTAINS OF REINFORCEMENT SHALL NOT OCCUR IN THE SAME LOCATION; SPICES SHALL BE OFFSET BY THE MAXIMUM OF 12 INCHES AND 12 BAR DIAMETERS.
  - MECHANICAL COUPLERS MAY BE USED IN LIEU OF LAP SPICES. MECHANICAL COUPLERS SHALL HAVE AN APPROVED ICC REPORT AND RESIST 125% OF REINFORCING BAR YIELD STRENGTH.
  - WHERE BARS OF DIFFERENT SIZES ARE SPICED, SPICE LENGTH SHALL BE THE MAXIMUM OF 1d OF THE LARGER BAR AND THE LAP SPICE LENGTH OF THE SMALLER BAR.
  - LAP TOP BARS AT MIDSPAN AND BOTTOM BARS AT SUPPORT, U.O.N.
  - NON-CONTACT LAP SPICED BARS SHALL BE SPICED AT LEAST 1 1/2" AND NO MORE THAN THE MAXIMUM OF ONE-FIFTH OF THE LAP SPICE AND 6"

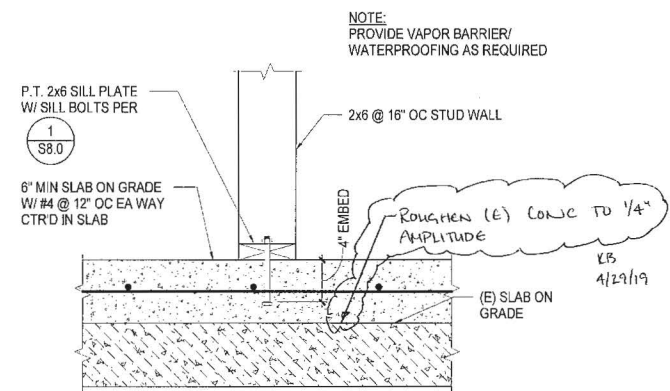


a BEAM SPICE DETAIL

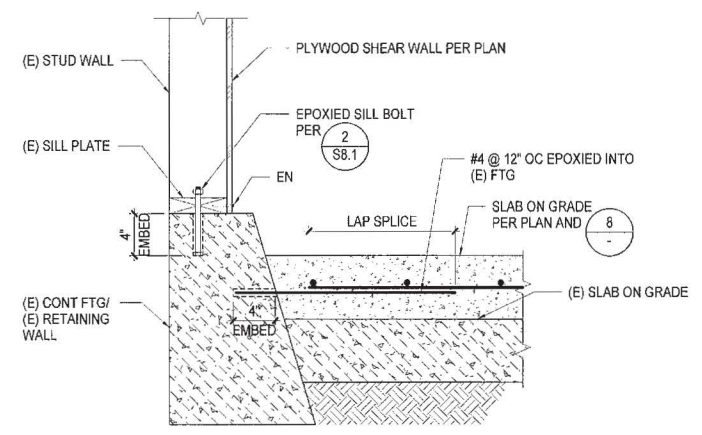


b NON-CONTACT LAP SPICE

7 LAP SPICE + STRAIGHT BAR DEVELOPMENT LENGTHS

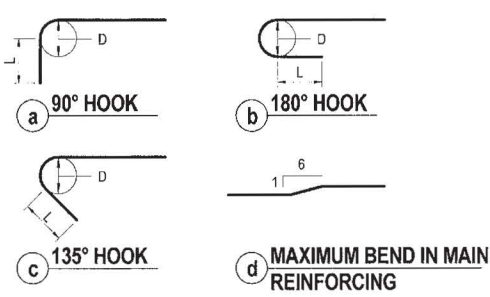
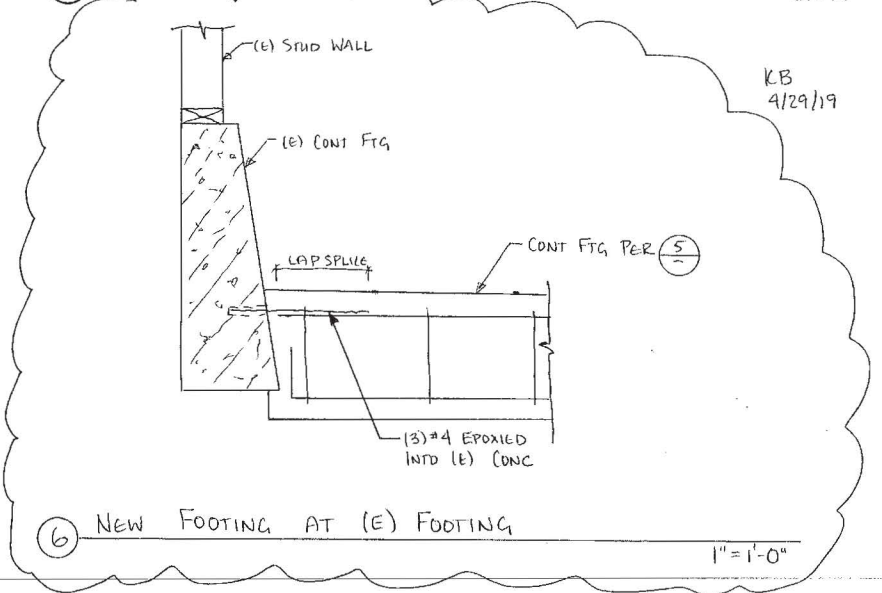


8 BEARING WALL AT SLAB ON GRADE



9 NEW SHEARWALL AT (E) FTG/ (E) RETAINING WALL

5 CONTINUOUS FOOTING DETAIL



MAIN REINFORCING HOOKS			
BAR SIZE	BEND DIAMETER, D (IN)	90° HOOK L (IN)	180° HOOK L (IN)
#3	2 1/4	4 1/2	2 1/2
#4	3	6	2 1/2
#5	3 3/4	7 1/2	2 1/2

STIRRUP + TIE REINFORCING HOOKS			
BAR SIZE	BEND DIAMETER, D (IN)	90° HOOK L (IN)	180° HOOK L (IN)
#3	1 1/2	3	3
#4	2	3	3

2 TYPICAL BAR HOOKS

BAR SIZE	HOOKED BAR DEVELOPMENT LENGTH, Ldh		
	3000 PSI	4000 PSI	5000 PSI
#3	0' - 8"	0' - 7"	0' - 6"
#4	0' - 11"	0' - 9"	0' - 9"
#5	1' - 2"	1' - 0"	0' - 11"

- NOTES:
- THE HOOKED BAR DEVELOPMENT LENGTHS IN THIS TABLE ARE FOR NORMALWEIGHT CONCRETE.
  - THE HOOKED BAR DEVELOPMENT LENGTHS IN THIS TABLE APPLY TO MEMBERS WITH:  
a. SIDE COVER EQUAL TO AT LEAST 2 1/2".  
b. END COVER EQUAL TO AT LEAST 2".

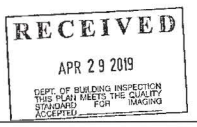
3 HOOKED BAR DEVELOPMENT LENGTHS

PROJECT:  
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PATRICK GALLAGHER  
P.O. BOX 532  
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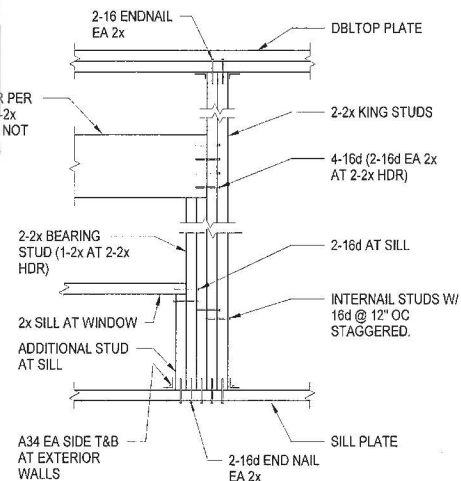
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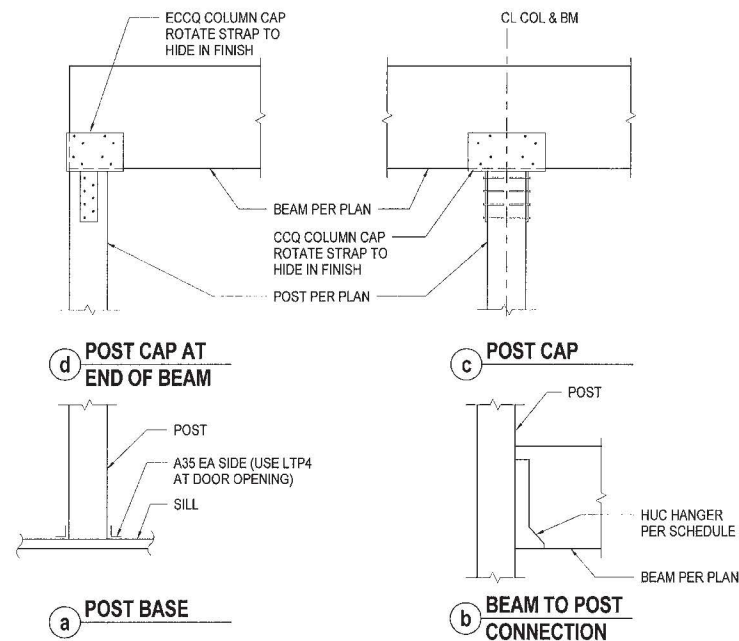
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TYPICAL  
CONCRETE  
DETAILS

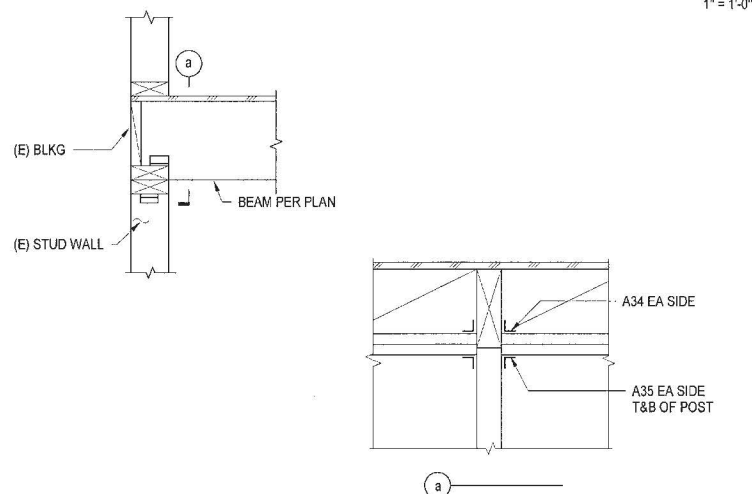
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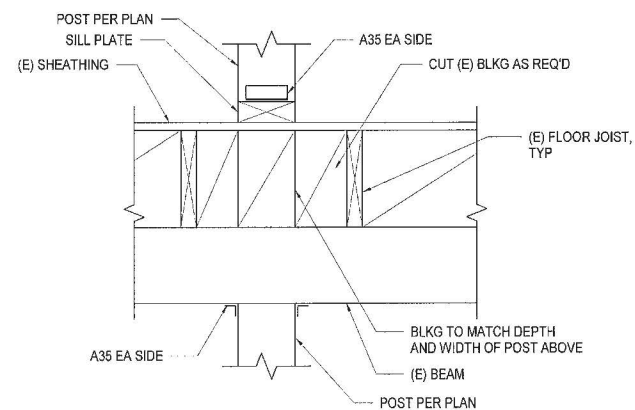
## 7 WALL OPENING



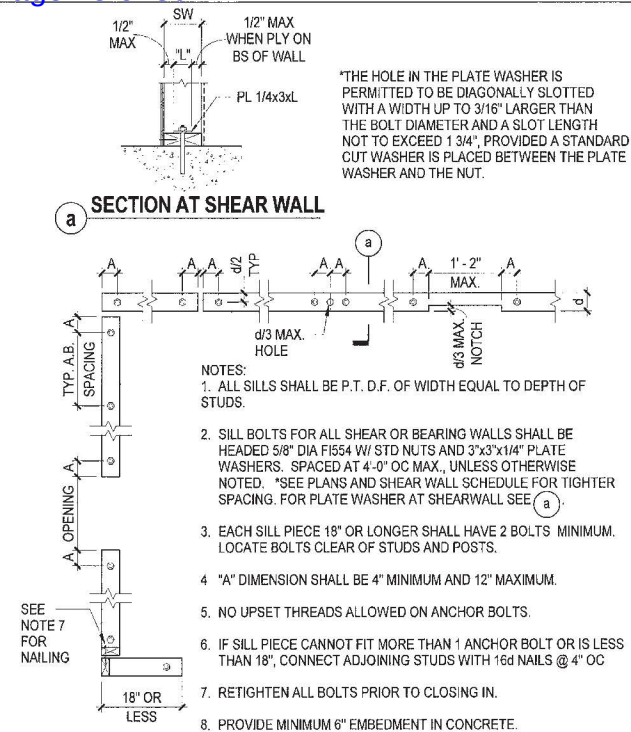
### 4 BEAM AND POST CONNECTION



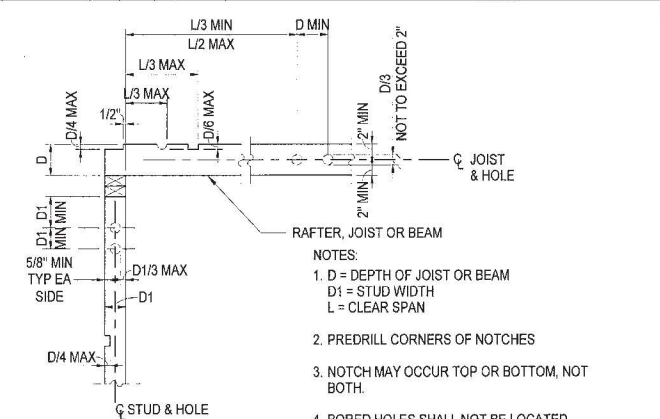
### 5 BEAM TO POST CONNECTION



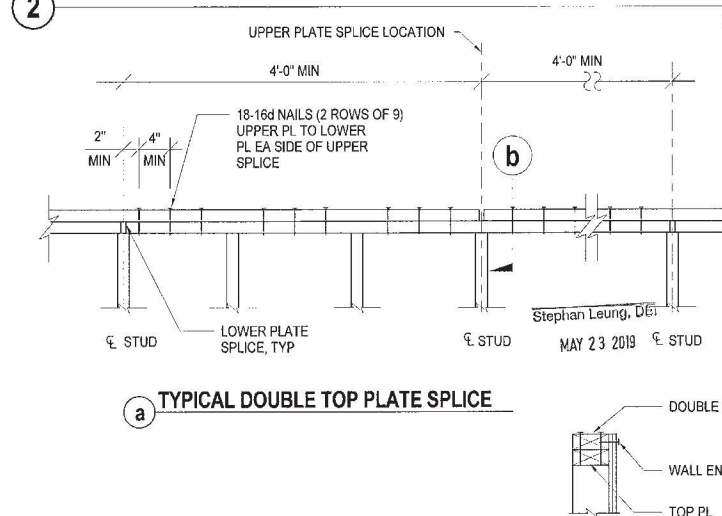
⑥ POST DETAIL AT SECOND FLOOR



**1 ANCHOR BOLT AND SILL PLATE**



### HOLES AND NOTCHING IN FRAMING MEMBERS



### 3 DOUBLE TOP PLATE SPLICE

PROJECT:

## 200 NAPLES REMODEL AND DORMER ADDITION

OWNERS:

PATRICK GALLAGHER  
P.O. BOX 532  
BYRON, CA 94514

[illegible]

**BASE**  
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SAN FRANCISCO, CA 94104  
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[www.BASEdesigninc.com](http://www.BASEdesigninc.com)



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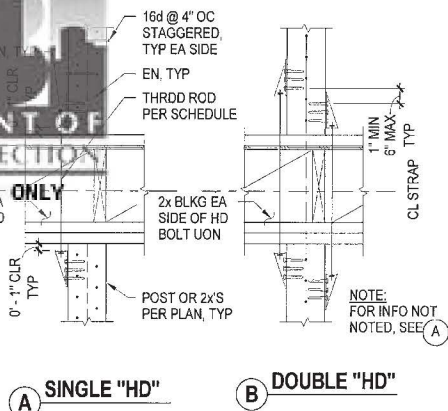
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
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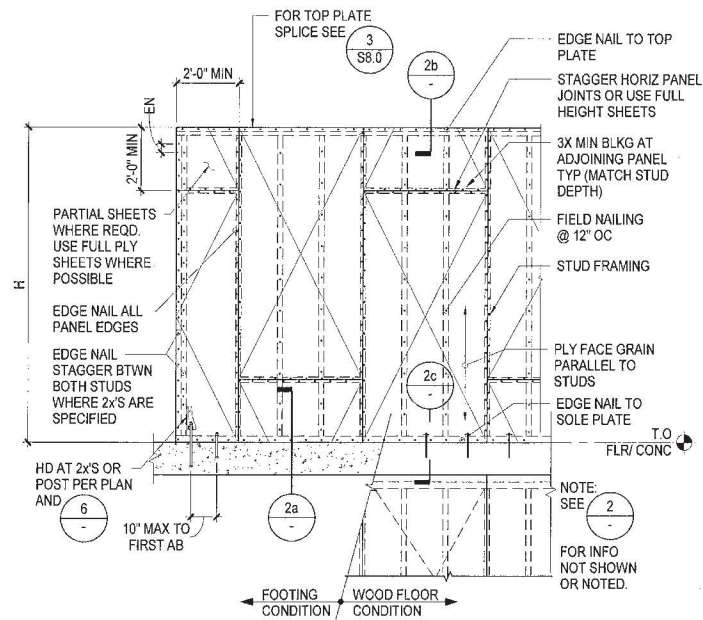
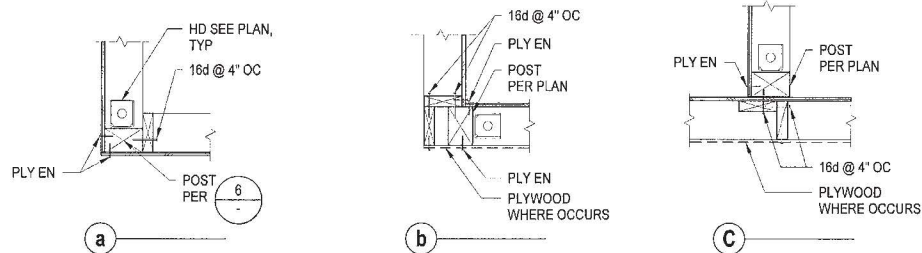
## TYPICAL WOOD DETAILS

S8.0





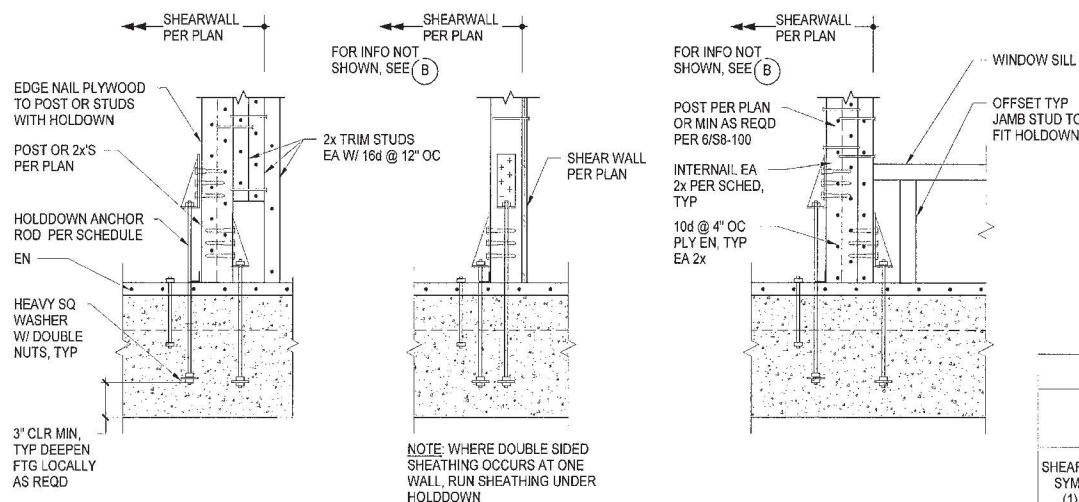
- NOTES:  
1. SEE PLAN FOR SIZES AND LOCATIONS OF HOLDOWNS.  
2. SEE (6) FOR POST & HOLDOWNS SCHEDULE AND INFO NOT SHOWN OR NOTED.  
3. AS AN ALTERNATIVE TO HDU2 HOLDOWN AT EXTERIOR WALL ONLY USE MST48.



**7 SHEAR WALL HOLDOWNS AT FLOOR**

**4 SHEAR WALL INTERSECTION PLANS**

**1 SHEAR WALL ELEVATION**

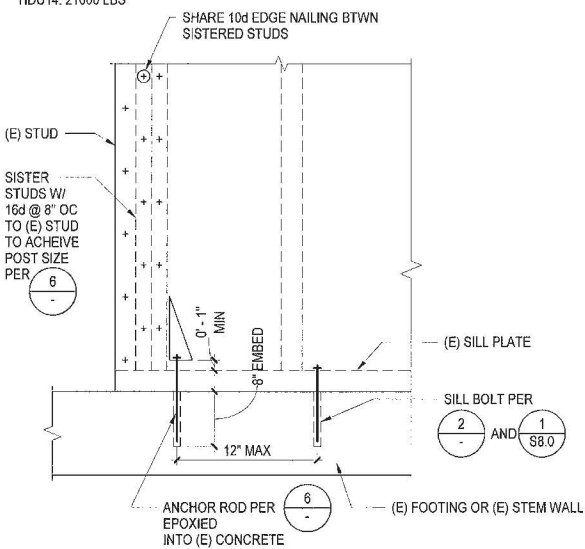


HOLDOWN (1)(2)(3)	POST SIZE UON	POST SIZE AT LVL WALLS, U.O.N	MIN ANCHOR ROD DIA	MIN ANCHOR ROD EMBED
HDU2-SD2.5	2-2x SW	2-1 3/4xSW	5/8"	9"
HDU4-SD2.5	2-2x SW	2-1 3/4xSW	5/8"	9"
HDU5-SD2.5	3-2x SW	3-1 3/4xSW	5/8"	9"
HDU8-SD2.5	3-2x SW	3-1 3/4xSW	7/8"	12"
HDU11-SD2.5	4-2x SW	5-1 3/4xSW	1"	12"
HDU14-SD2.5	5-2x SW	5-1 3/4xSW	1"	12"

- NOTE:  
1. SEE PLAN FOR SIZES & LOCATIONS OF HOLDOWNS.  
2. FOR HD AT WALL INTERSECTIONS SEE (4)  
3. FOLLOW ALL MANUFACTURER'S GUIDELINES NECESSARY TO ACHIEVE FULL ICC DESIGN VALUES.  
4. AT MULTIPLE 2x HOLDOWN POST CONDITION, INTERNAL STUDS W/ STAGGERED 16d @ 6" OC, UON  
5. FOR HOLDOWNS AT (E) FOUNDATIONS SEE (9)

TENSION TEST HOLDOWN ANCHOR RODS EPOXIED INTO (E) CONCRETE PER THE FOLLOWING:

HDU2: 4700 LBS  
HDU5: 8300 LBS  
HDU8: 10100 LBS  
HDU11: 14900 LBS  
HDU14: 21000 LBS

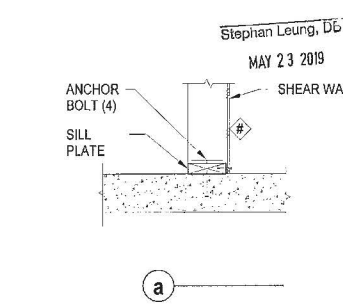
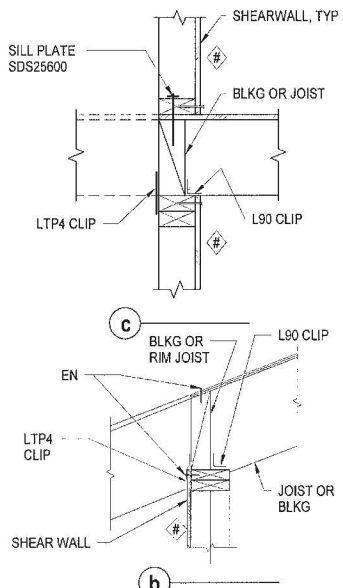


**6 SHEAR WALL HOLDOWNS INTO FOUNDATION**

SHEAR WALL CONNECTION					
DETAIL CONDITION					
SHEAR WALL SYMBOL (1)(2)	ANCHOR BOLT	SILL PLATE SIZE	SHEAR CLIP	SILL PLATE SDS25600 (7)	SHEAR CLIP
(6)	3/4" DIA @ 4'-0" OC	2	L90 @ 32" OC	16" OC	2
(4)	3/4" DIA @ 4'-0" OC	2	L90 @ 20" OC	12" OC	2
(3)(3)	3/4" DIA @ 2'-8" OC	3	L90 @ 16" OC	8" OC	3
(2)(3)	3/4" DIA @ 2'-0" OC	3	L90 @ 12" OC	6" OC	3
(4)(4)(10)	3/4" DIA @ 2'-0" OC	3	L90 @ 12" OC	4" OC	3
(3)(3)(10)	3/4" DIA @ 1'-4" OC	3	L90 + LTP4 @ 12" OC	4" OC	3
(2)(2)(3)(10)	3/4" DIA @ 1'-4" OC	3	L90 + LTP4 @ 12" OC	4" OC	3

- NOTES:  
1. USE 10d (2 1/8" LONG) COMMON WIRE NAILS, U.O.N.  
2. (6) NUMBER SHOWN IN SYMBOL REPRESENTS PLYWOOD PANEL EDGE NAIL SPACING IN INCHES  
3. PROVIDE 3x FRAMING MEMBERS AT ALL PLYWOOD ADJOINING PANEL EDGES. STAGGER NAILS ON EACH SIDE OF STUD WHERE PLYWOOD IS ON BOTH SIDES.  
4. USE LTP4 AS ALTERNATE TO L90 AT CONTRACTOR'S OPTION; DECREASE SPACING BY TWO-THIRDS.  
5. SEE DETAIL 1/58.0 FOR ANCHOR BOLT AND SILL DETAIL.  
6. PILOT DRILL HOLES FOR SILL PLATE NAILING/LAG SCREWS.  
7. NAILS INTO PRESSURE TREATED SILL PLATES SHALL BE GALVANIZED.  
8. SEE DETAIL 1 ON THIS SHEET FOR TYPICAL SHEAR WALL ELEVATION.  
9. SEE PLAN AND DETAIL 6 ON THIS SHEET FOR SHEAR WALL HOLDOWNS.  
10. PROVIDE 3x BLOCKING WHERE SHEAR CLIPS ON BOTH SIDES.

**2 SHEAR WALL SCHEDULE**



PROJECT:  
**200 NAPLES  
REMODEL AND  
DORMER ADDITION**

OWNERS:  
**PATRICK GALLAGHER  
P.O. BOX 532  
BYRON, CA 94514**

NO.	ISSUE:	DATE:

**BASE  
DESIGN**

582 MARKET ST., STE. 1402  
SAN FRANCISCO, CA 94104  
Office: (415) 456-2997  
www.BASEdesign.com



**APPROVED**  
Dept. of Building Insp.  
JUN 11 2019  
Tom C. Hu, S.E.  
DIRECTOR  
DEPT. OF BUILDING INSPECTION

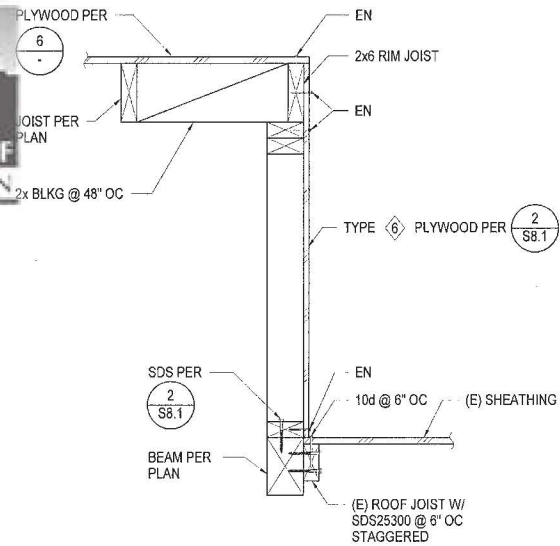
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APR 29 2019  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR REVIEW

DATE: 04/24/2019 SCALE: AS NOTED DRAWN: TTD

**WOOD FRAMING  
DETAILS**

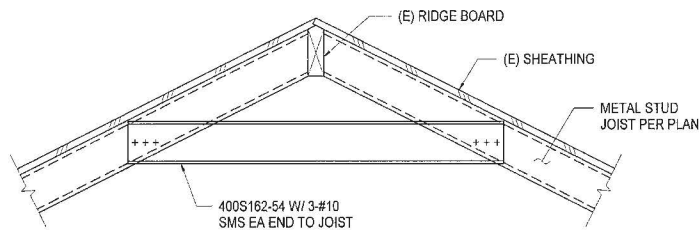
S8.1





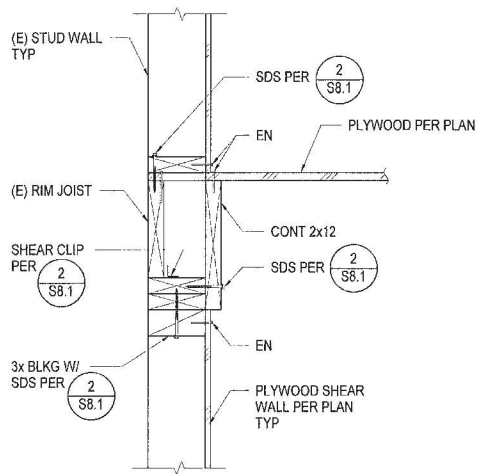
7 DETAIL AT DORMER

1 1/2" = 1'-0"



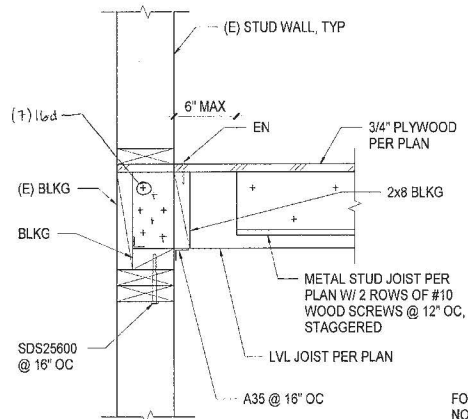
8 RIDGE DETAIL AT METAL STUD JOIST

1 1/2" = 1'-0"



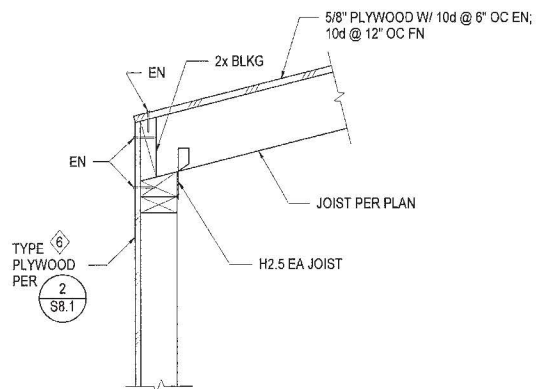
4 FLOOR DETAIL AT EXTERIOR WALL

1 1/2" = 1'-0"



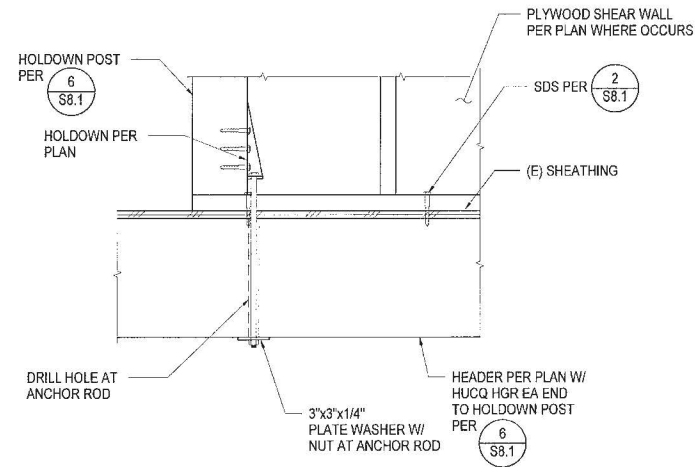
5 LVL + METAL STUD FLOOR JOIST AT EXTERIOR WALL

1 1/2" = 1'-0"



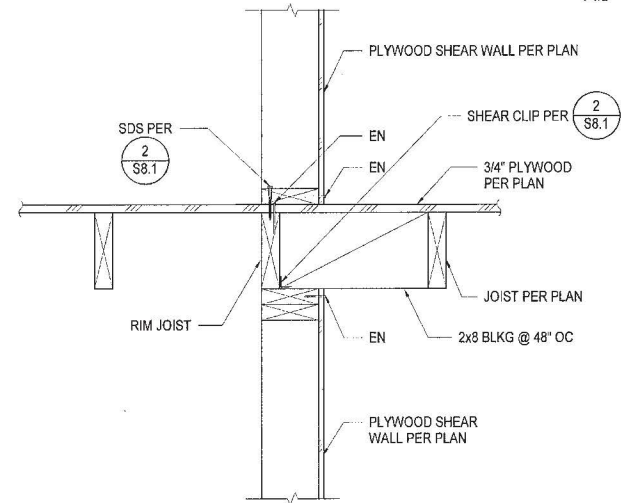
6 SECTION AT DORMER

1 1/2" = 1'-0"



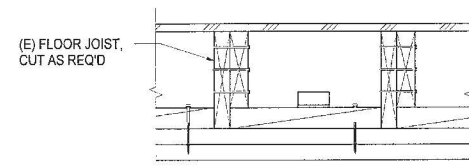
1 HOLDDOWN AT HEADER

1 1/2" = 1'-0"

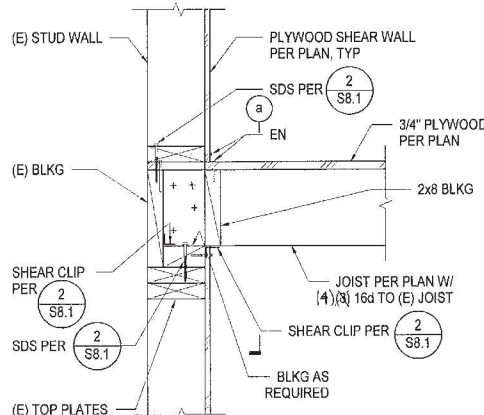


2 DETAIL AT 2ND FLOOR SHEAR WALL

1 1/2" = 1'-0"



a



3 FLOOR DETAIL AT EXTERIOR WALL

1 1/2" = 1'-0"

PROJECT:  
200 NAPLES  
REMODEL AND  
DORMER ADDITION

OWNERS:  
PATRICK GALLAGHER  
P.O. BOX 532  
BYRON, CA 94514

NO.	ISSUE:	DATE:

**BASE  
DESIGN**  
582 MARKET ST. STE. 1402  
SAN FRANCISCO, CA 94104  
Office: (415) 466-2997  
www.BASEdesigninc.com



**APPROVED**  
Dept. of Building Insp.  
JUN 11 2019  
Tom C. He...  
DIRECTOR  
DEPT. OF BUILDING INSPECTION

**RECEIVED**  
APR 29 2019  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARDS FOR RANKING  
ACCEPTED

DATE:	SCALE:	DRAWN:
04/24/2019	AS NOTED	TTD

**FLOOR FRAMING  
DETAILS**

S8.2





London N. Breed, Mayor  
Tom C. Hui, S.E., C.B.O., Director

Attachment A

**FOR DBI USE ONLY**

**ASSIGNMENT OF REVIEW TIER**

**SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST**

A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

JOB ADDRESS 200 NAPLES APPLICATION NO. \_\_\_\_\_ ADDENDUM NO. \_\_\_\_\_  
OWNER NAME PAI GALLAGHER OWNER PHONE NO. (415) 325-3911

1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION	
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000.	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
			HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
			SHORING YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
			UNDERPINNING YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
2: AVERAGE SLOPE OF PROPERTY		GRADING, INCLUDING EXCAVATION OR FILL, OF OVER 50 CUBIC YARDS OF EARTH MATERIAL YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE (APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY: RETAINING WALL: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
			OTHERS: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

**SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES**

Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

Prepared by: KATHRYN BRIGGS  
Engineer/Architect of Record  
Telephone: 650-796-8290 Email: katycbasedesigninc.com  
Signature: [Signature] Date: 04/29/2019



Technical Services Division  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6205 - FAX (415) 558-6401 - www.sfdbi.org

EXEMPTED: Reports per Section E and Third Party Peer Review Not Required

☒ If the box in Section 1 "Property Location" **AND** the box in Section 2 "Average Slope of Property" are marked "No" **OR** if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

TIER I: Reports per Section E Required but Third Party Peer Review Not Required

☐ If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

TIER II: Reports per Section E and Third Party Peer Review Required

☐ If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property lies within the areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

TIER III: Structural Advisory Committee (SAC) Review

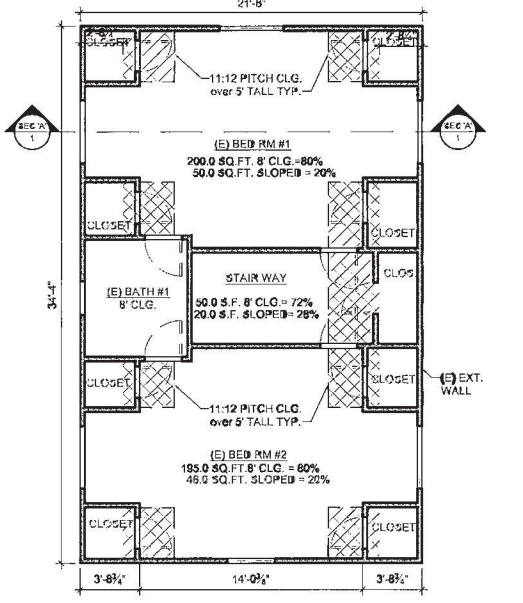
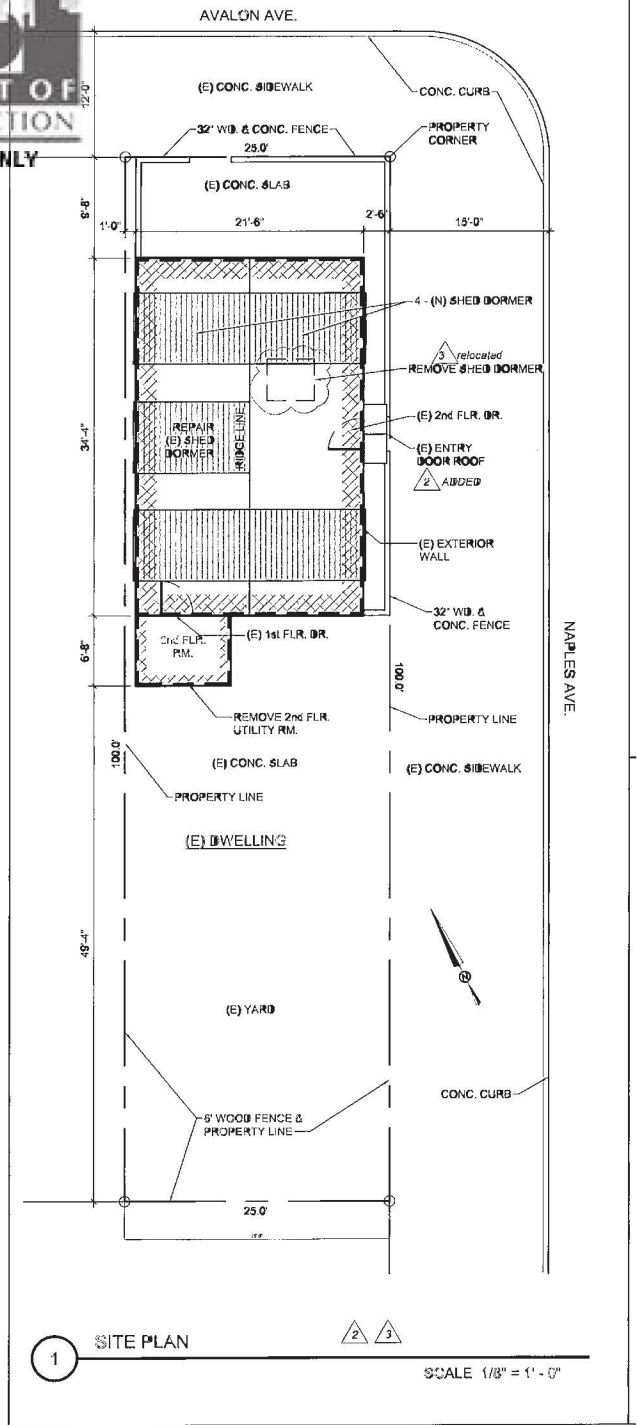
☐ If the box in Section 1 "Property Location" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBC Section 105A.6.

Stephan Leung, DBI

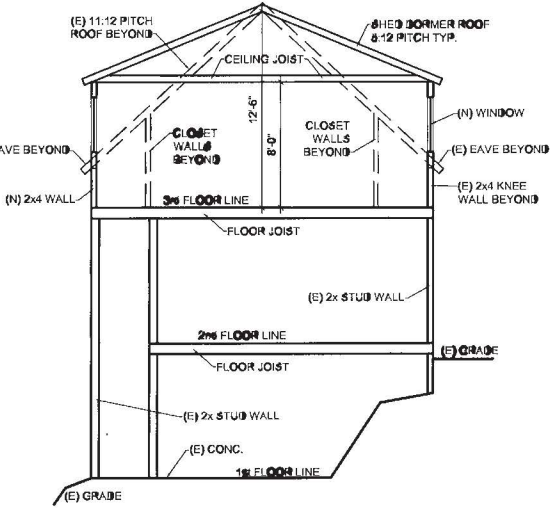
Tier assigned by: APR 29 2019 Phone: (415) 558-6493  
DBI Plan Review Engineer

Comment: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_





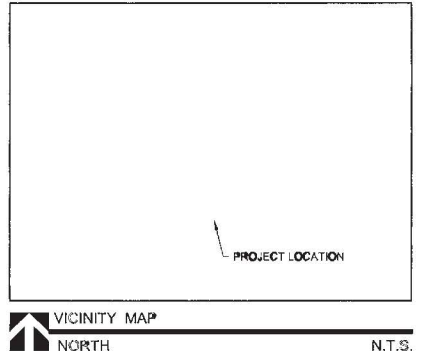
3rd FLOOR REFLECTED CEILING PLAN  
SCALE 3/16" = 1' - 0"



BUILDING SECTION 'A'  
SCALE 3/16" = 1' - 0"

ZONING & BUILDING DATA			
Parcel: 6008001	Zoning District: RH-1		
C.B.C. Occupancy Group: R-3 / U	Lot Area: 2,500 sq. ft.		
C.B.C. Construction Type: V-B	Stories: 3		
Seismic Zone: Zone	Wind Exposure: 70 m.p.h.		
Climate Zone: Zone 12	Flood Zone: none		
Floor Areas (sq.ft.)	Existing	Proposed	Total
1st Flr. (lower) Conditioned	460.0	no change	460.0
2nd Flr. (middle) Conditioned	700.0	no change	700.0
3rd Flr. (upper) Conditioned	610.0	no change	610.0
Total Conditioned	1,770.0	no change	1,770.0
Non-Conditioned	0.0	no change	0.0
Total Area	1,770.0	no change	1,770.0
Setbacks/Height	Existing	Proposed	Minimum
Front Yard	9'-8"	no change	15'-0" max.
Side Yard	0'-0"	no change	0'-0"
Rear Yard	49'-0"	no change	15'-0"
Height	0'-0"	no change	35'-0"
Parking	0 spaces	no change	no change

**CODES:**  
A. The work shall comply with the following building code publications in effect in the City of Clayton and Contra Costa County:  
2016 California Building Code  
~~2016 California Residential Code~~  
2016 California Electrical Code  
2016 California Mechanical Code  
2016 California Plumbing Code  
2016 California Fire Code  
2016 Building Energy Efficiency Standards for Residential Buildings.



**SHEET INDEX**

1. SITE PLAN, SHEET INDEX, SCOPE OF WORK, BUILDING SECTION, REFLECTED CEILING PLAN, GENERAL NOTES, BUILDING IN ZONING DATA, VICINITY MAP, ABBREVIATIONS
2. EXISTING FLOOR PLAN IN EXTERIOR ELEVATIONS.
3. PROPOSED FLOOR PLAN EXTERIOR ELEVATIONS

**4. AB009**  
**SCOPE OF WORK STATEMENT**  
1. LEGALIZE THE INSTALLATION OF WINDOWS THAT WERE NOT PREVIOUSLY APPROVED (S) TOTAL WINDOWS  
2. DOCUMENT CHANGES TO INTERIOR STAIRS  
3. EXISTING MECHANICAL CLOSET

DESIGN  
COLLABORATIVE  
ARCHITECTURAL / CIVIL DESIGN &  
DRAFTING SERVICES  
John Neal  
808 Yosemite Way  
Sunnyvale City CA 94085  
707-470-6130  
jneal\_dc@comcast.net  
John R. Neal

No.	Description	Date
1	Updated scope of work	6/23/21

APPROVED  
Dept. of Building Insp.  
San Francisco  
JUL 19 2021  
PAT GALLAGHER  
PATRICIA GALLAGHER  
INTERIM DIRECTOR  
DEPT. OF BUILDING INSPECTION

David Jones, DBI  
JUL 08 2021

Approved Planning Dept. Alex Westhoff  
7/6/21

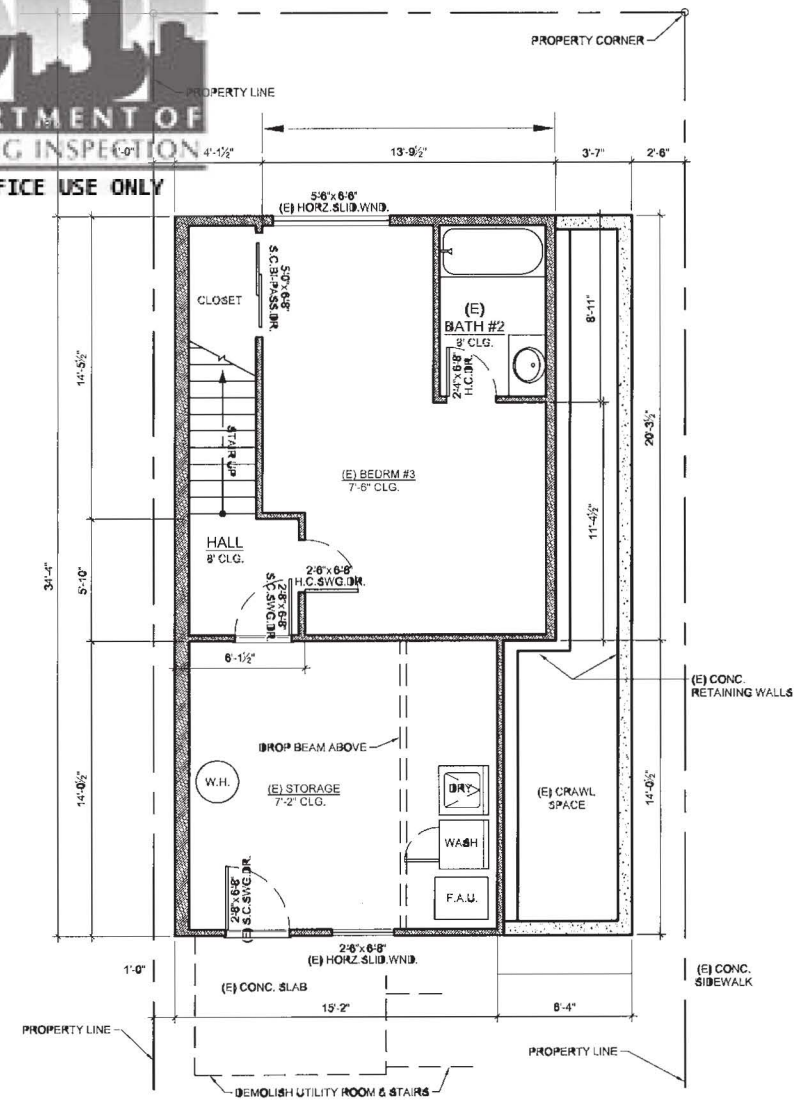
RECEIVED  
JUL 02 2021  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR REPRODUCTION  
ACCEPTED

PAT GALLAGHER  
ADDITION &  
RENOVATION  
200 NAPLES ST. SAN  
FRANCISCO CA 94112  
PH: 925-325-3911

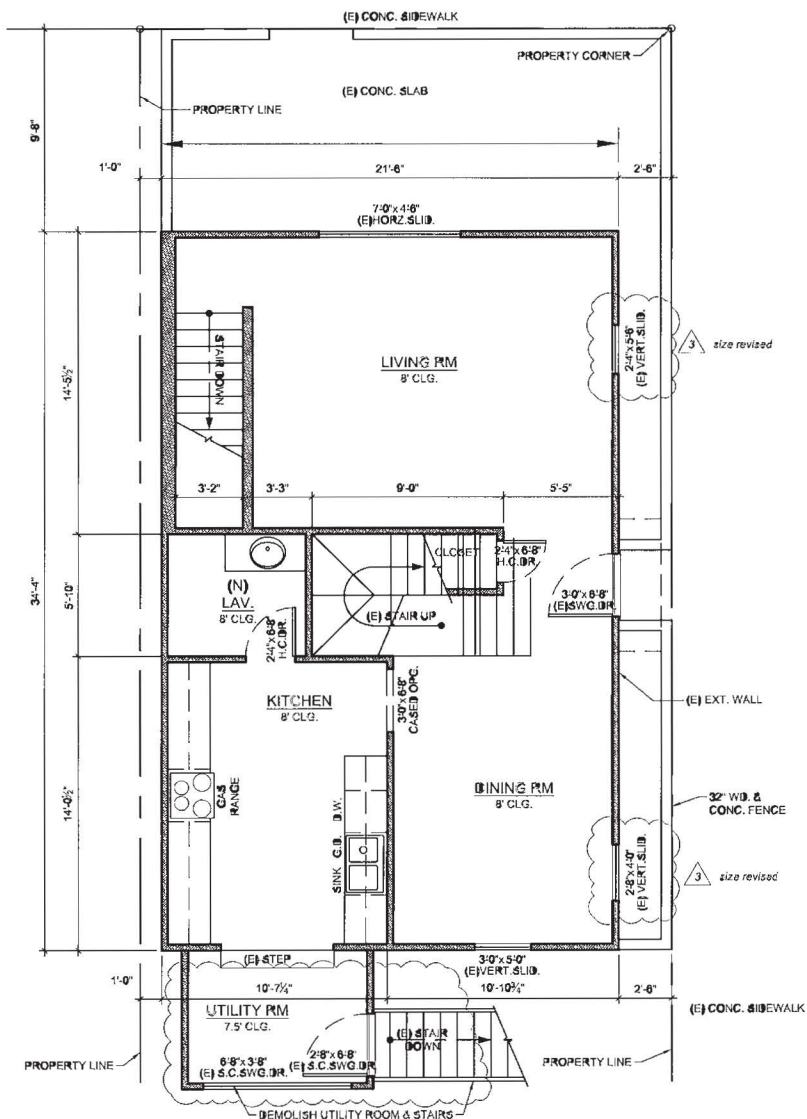
SITE PLAN, BUILDING DATA,  
SHEET INDEX, REFLECTED  
CEILING PLAN

CHECKED BY	Checker
DRAWN BY	Jneal
SCALE	AS SHOWN
DATE	06.23.21
PROJECT NO.	21023
PHASE NO.	
SHEET NO.	1 of 4

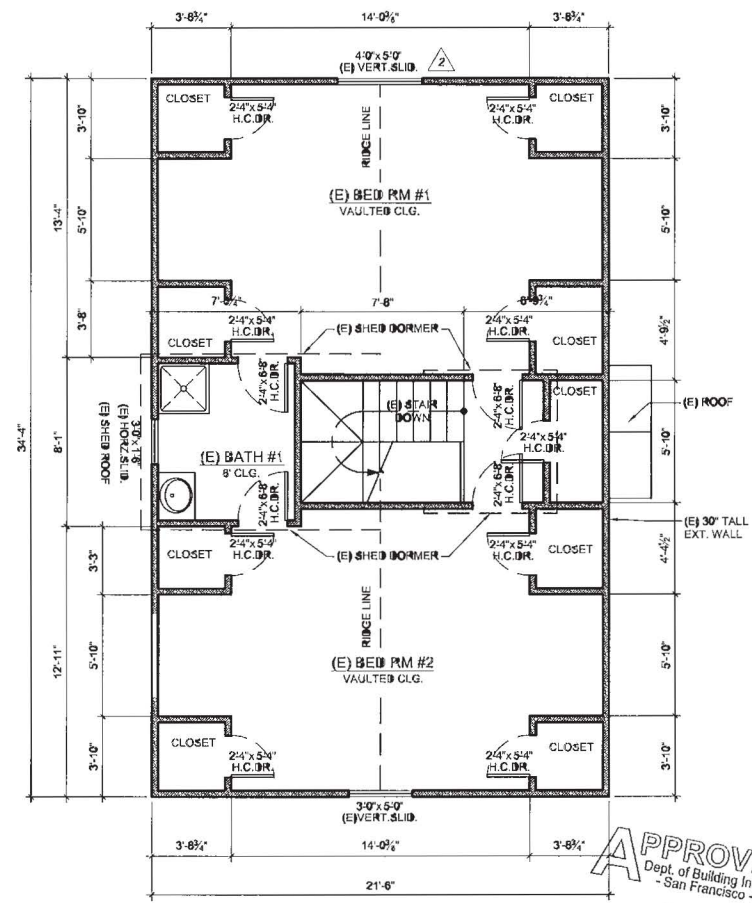




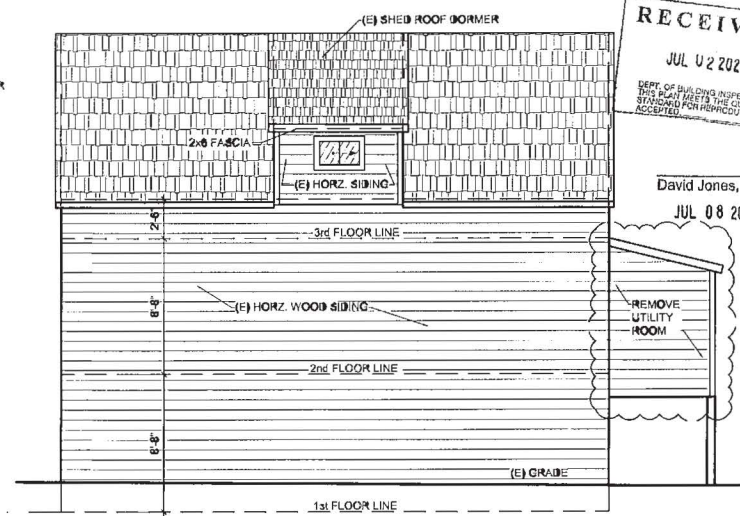
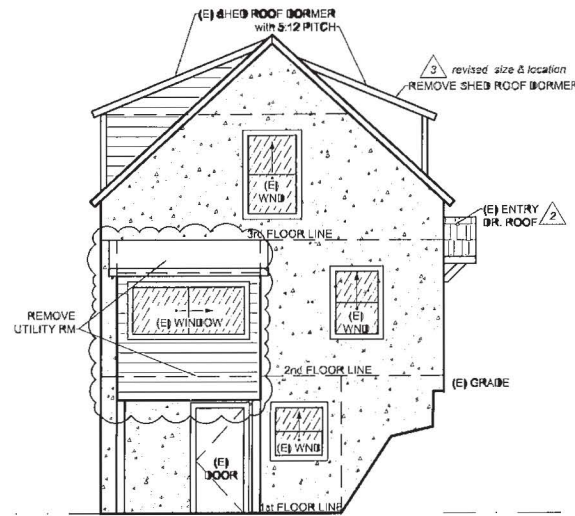
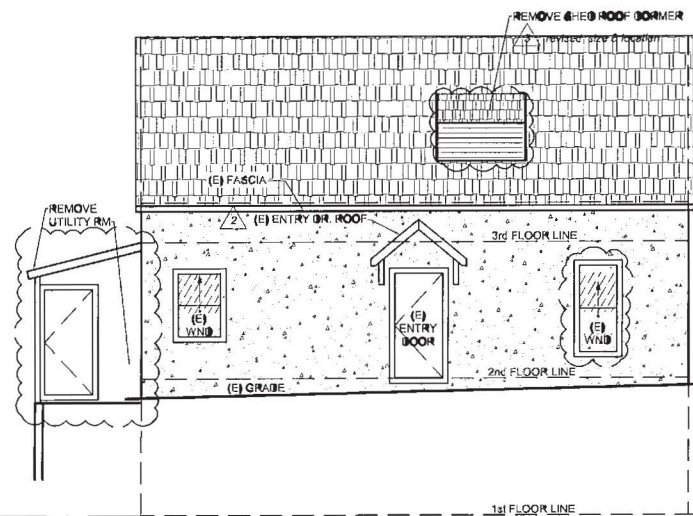
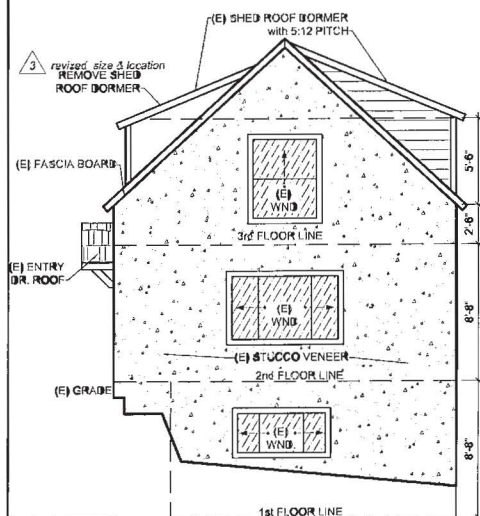
1 EXISTING 1st FLOOR PLAN (LOWER) SCALE 1/4" = 1' - 0"



2 EXISTING 2nd FLOOR PLAN (MIDDLE) SCALE 1/4" = 1' - 0"



**3** EXISTING 3rd FLOOR PLAN (UPPER) SCALE 1/4" = 1' - 0"



**DESIGN  
COLLABORATIVE**

ARCHITECTURAL / CIVIL DESIGN &  
DRAFTING SERVICES

John Neal  
808 Yosemite Way  
Suisun City CA 94585  
707-470-6130  
jneal\_dc@comcast.net  
*John R Neal*

[illegible]

PAT GALLAGHER  
ADDITION &  
RENOVATION  
200 NAPLES ST. SAN  
FRANCISCO CA 94112  
PH: 925-325-3911

## EXISTING FLOOR PLANS

CHECKED BY \_\_\_\_\_  
Checker  
DRAWN BY \_\_\_\_\_  
Jneal  
SCALE \_\_\_\_\_  
AS SHOWN  
DATE \_\_\_\_\_  
06.23.21  
PROJECT NO. \_\_\_\_\_  
21023  
PHASE NO. \_\_\_\_\_

SHEET NO. 2 of 4

Approved Planning Dept. Alex Westhoff

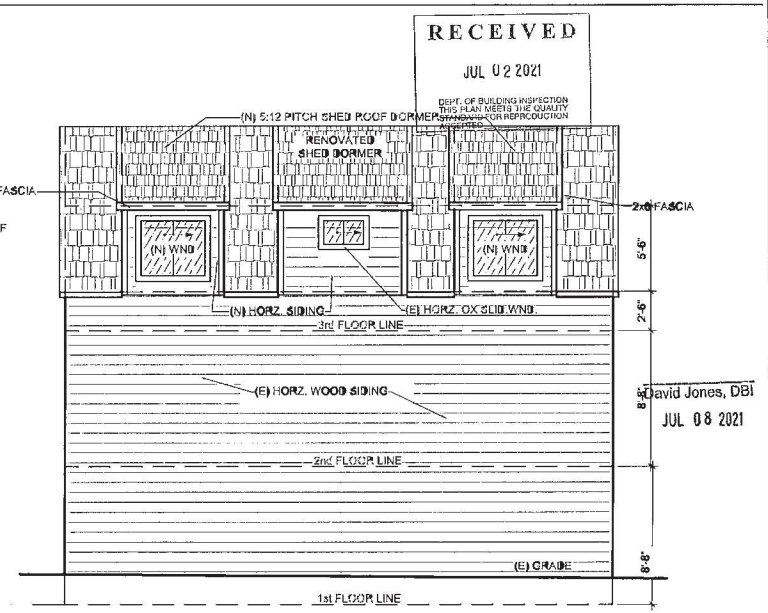
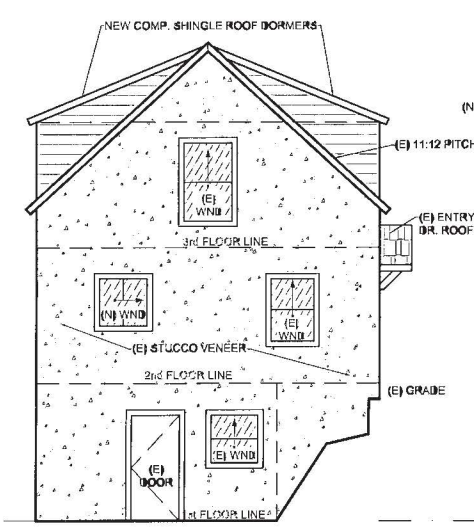
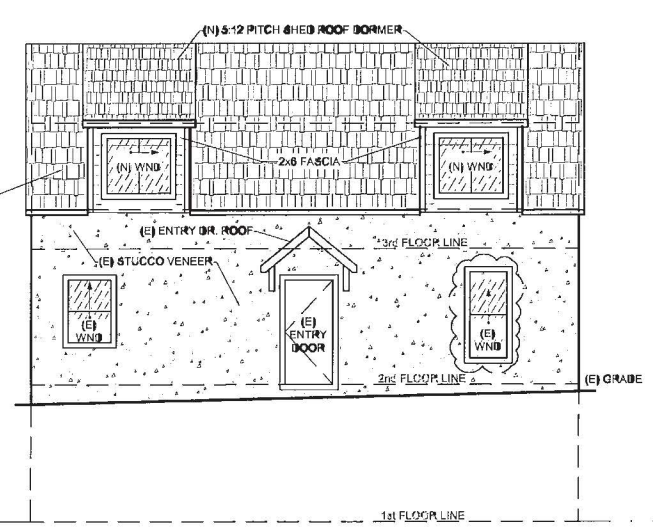
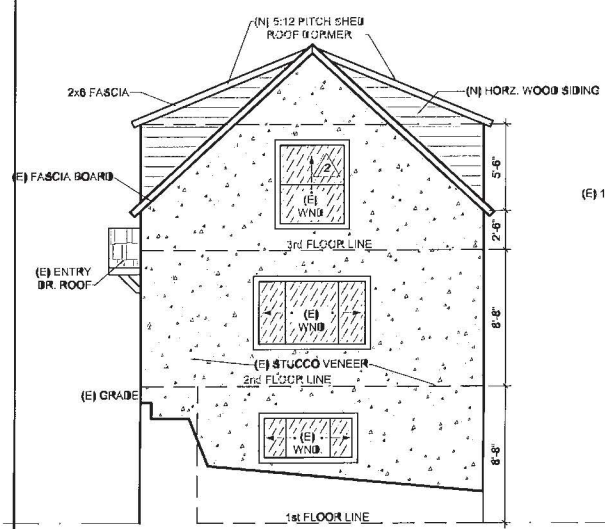
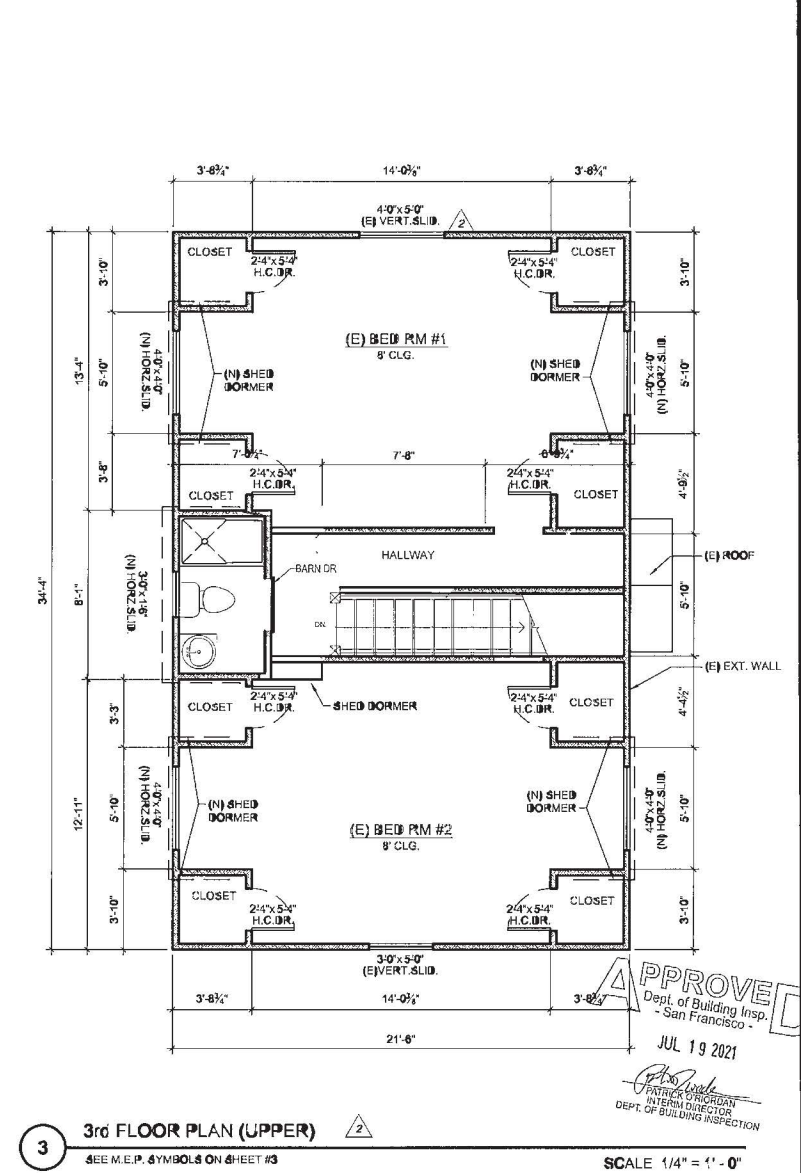
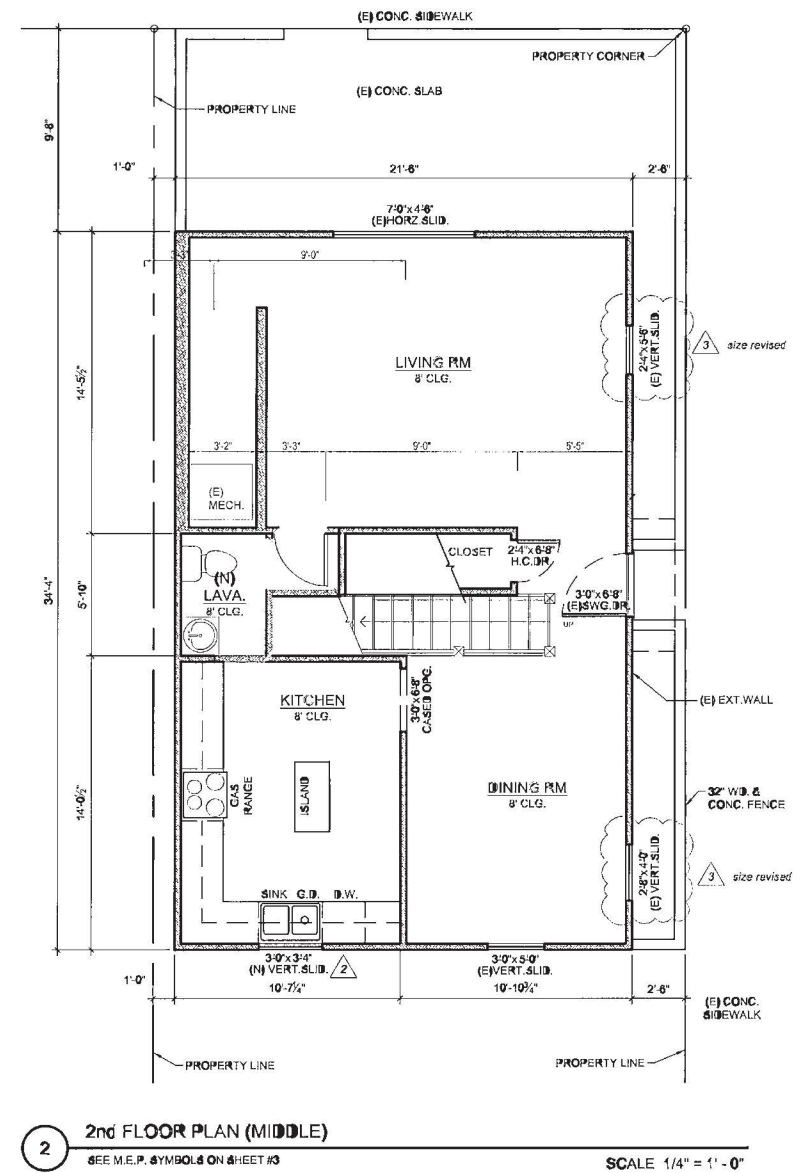
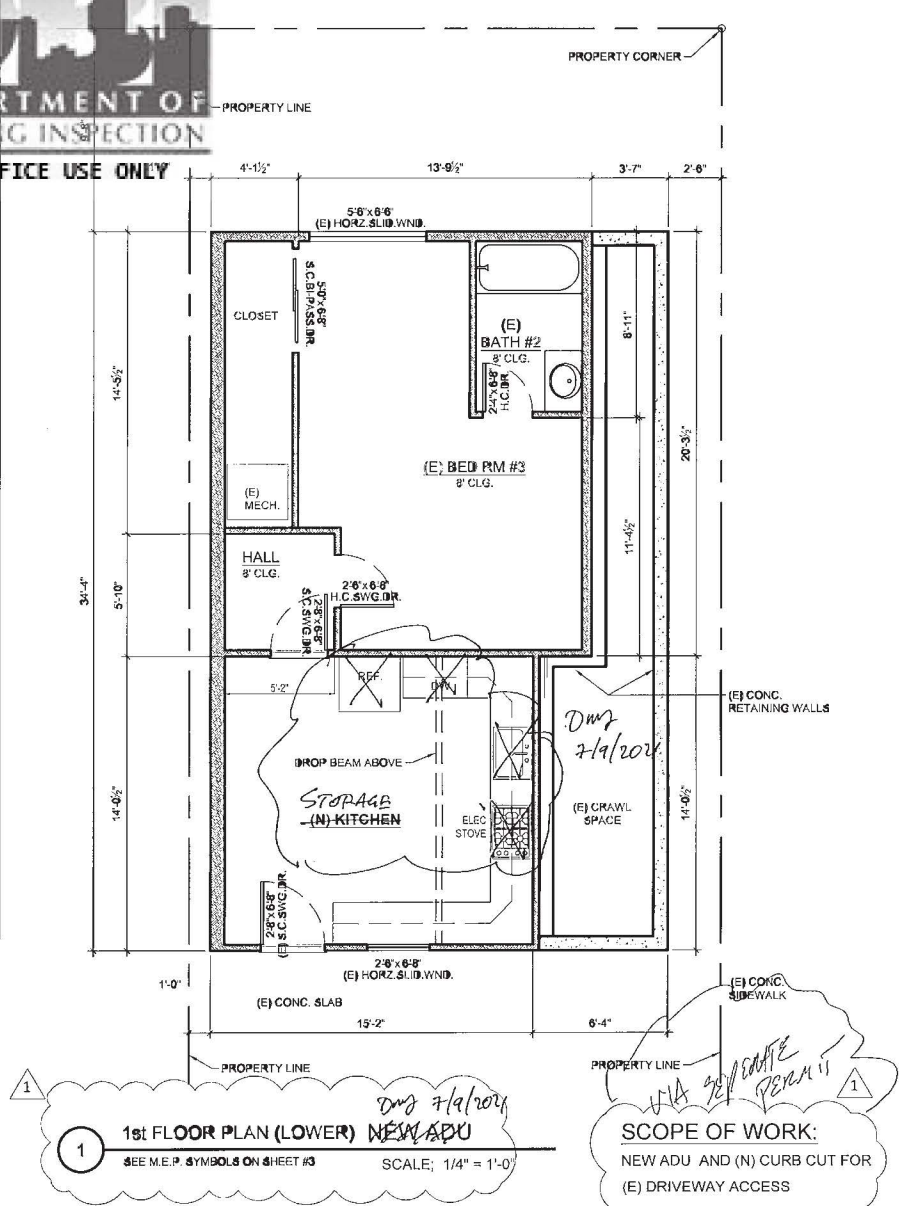


DESIGN  
COLLABORATIVE  
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John Neal  
808 Yosemite Way  
Sausalito, CA 94965  
707.470.6130  
jneal\_dc@comcast.net  
Josh R. Neal

No.	Description	Date
1	Updated scope of work - ADU	6/23/21

PAT GALLAGHER  
ADDITION &  
RENOVATION  
200 NAPLES ST. SAN  
FRANCISCO CA 94112  
PH: 925-325-3911

APPROVED  
JUL 19 2021  
PATRICK J. HERRON  
INTERIM DIRECTOR  
DEPT. OF BUILDING INSPECTION



PROPOSED  
FLOOR PLANS

CHECKED BY: [Signature]  
DRAWN BY: [Signature]  
SCALE: AS SHOWN  
DATE: 06.23.21  
PROJECT NO.: 21023  
PHASE NO.:  
SHEET NO.: 3 of 4

San Francisco Building Code AB-009

Doc # 2021108925

City and County of San Francisco

Joaquin Torres, Assessor-Recorder

7/12/2021 11:54:28 AM

Pages 1 Title 398 KC Taxes \$14.00

Customer 001 Other \$0.00

S82 Fees \$75.00

Paid \$89.00

Recording Requested by and when Recorded Mail to

Director, San Francisco

Department of Building Inspection

49 South Van Ness Avenue

San Francisco, CA 94103-2414

DECLARATION OF USE LIMITATION

I/We, PATRICK GALLAGHER owner/s of the herein described property Commonly known as 200 MAPLES ST. in San Francisco, Assessor's Block No. 6008, Lot No. 001 hereby consent to the within described limitations that:

In the event that the property located at 536 AVENUE AVE commonly known as Block No. 6008, Lot No. 46 is improved in such a manner that the openings in the building located at 200 MAPLES ST. no longer comply with the San Francisco Building Code, then said openings shall be closed off or protected as required by the **Director of the Department of Building Inspection.**

The herein limitations shall be binding on me/us until amended by conforming to the San Francisco Building Code Requirements.

Signed: [Signature] PATRICK GALLAGHER  
OWNER/S

Date of Execution: 7/12/21

NOTARY ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA  
County of CONTRA COSTA  
On July 12, 2021 before me, CHARLES D. DEWITT, Notary Public  
(insert name and title of the officer)  
personally appeared PATRICK GALLAGHER  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature] (Seal) 

CHARLES D. DEWITT

Notary Public - California

Contra Costa County

Commission # 2310161

My Comm. Expires Nov 15, 2023



AB-009 ATTACHMENT A

DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco

49 South Van Ness Ave, San Francisco, California 94103

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED \_\_\_\_\_ [Note: This form shall be recorded as part of the permanent construction records of the property.]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0702-S726

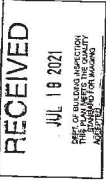
Property Address: 200 MAPLES

Block and Lot 6008 001 Occupancy Group: R3 Type of Construction: V No. of Stories: 2

Describe Use of Building DUPLEX

Under the authority of the 2019 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2019 San Francisco Mechanical Code, Section 302.2; the 2019 San Francisco Electrical Code, Section 89.117; and the 2019 San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (Specify Code and Sections)  
OPENINGS IN PROPERTY CONE WALL  
NOT PERMITTED PER SFBC SECTION  
705.0



David Jones, DEB  
JUL 19 2021

4/4

AB-009 Attachment A. REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

Proposed Modification or Alternate  
INSTALL FIXED, 3/4" AL FIBER  
RESISTANCE RATED WINDOWS  
LOCATED MORE THAN 6' LATENTLY  
FROM ANY EXISTING OPENING IN ADJACENT  
BUILDING.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER

X Print Name: PATRICK GALLAGHER

X Signature: \_\_\_\_\_

X Telephone: 925-325-3811

AB-009 Attachment A. REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

PLAN REVIEWER COMMENTS:

RECOMMENDATIONS:  
[signed off/dated by:] Approve Approve with conditions Disapprove  
David Jones, DEB  
JUL 19 2021

Plan Reviewer: \_\_\_\_\_

Division Manager: [Signature]

for Director of Bldg. Inspection \_\_\_\_\_

for Fire Marshal: \_\_\_\_\_

CONDITIONS OF APPROVAL or OTHER COMMENTS



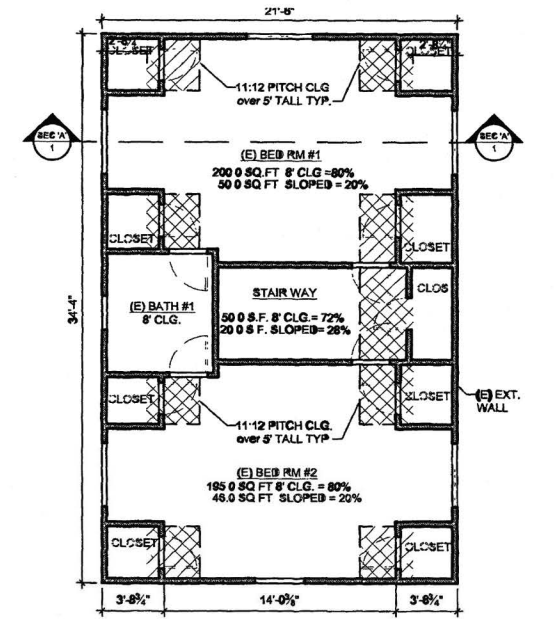
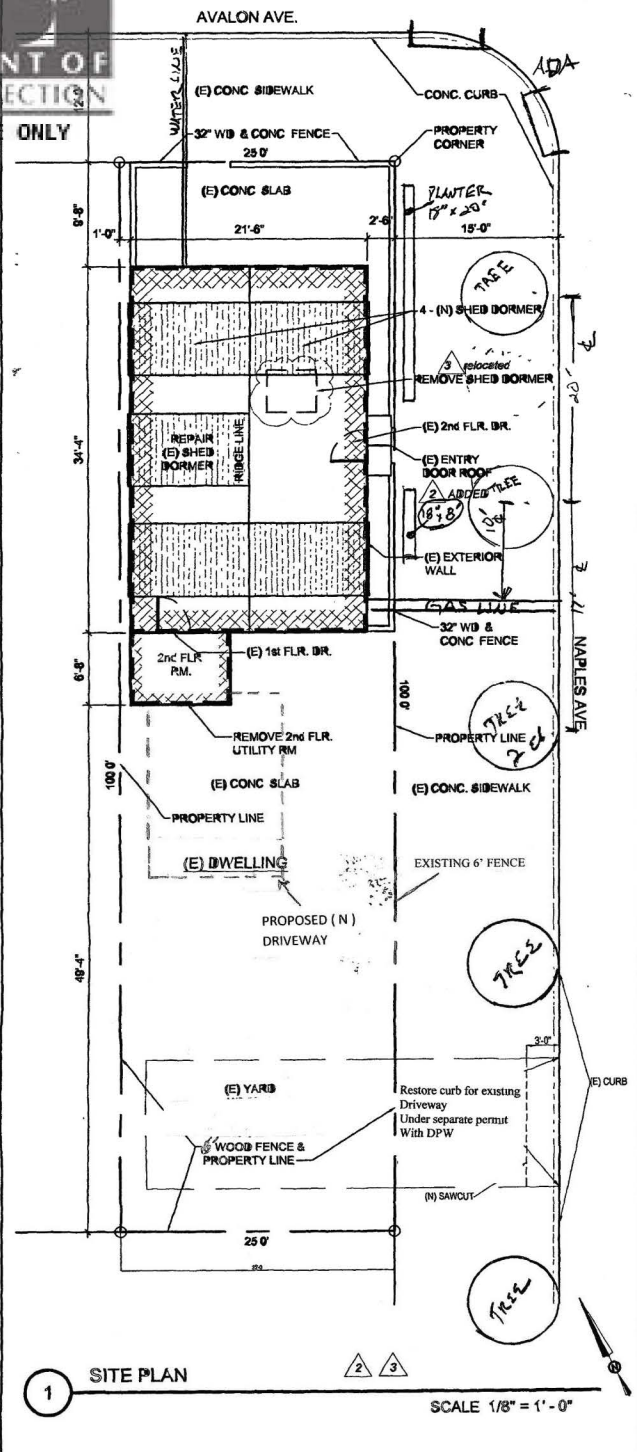
No.	Description	Date
1	Updated scope of work	6/23/21

PAT GALLAGHER  
NEW ADU  
200 NAPLES ST. SAN  
FRANCISCO CA 94112  
PH: 925-325-3911

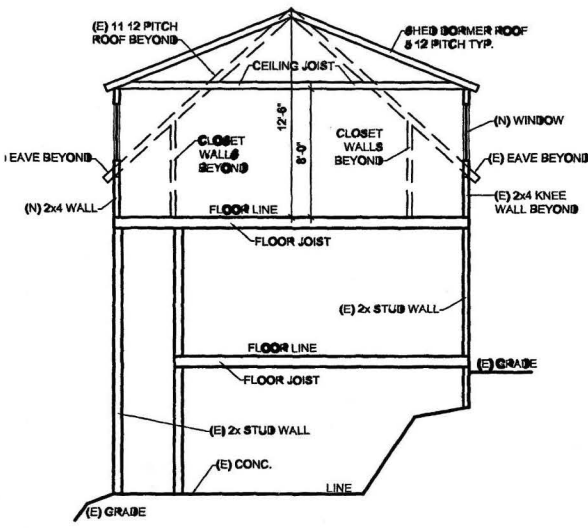
NEW ADU - SITE PLAN,  
BUILDING DATA, SHEET  
INDEX,

202108096049

CHECKED BY	Checker
DRAWN BY	Jneal
SCALE	AS SHOWN
DATE	06/23/21
PROJECT NO	21023-A
PHASE NO	
SHEET NO	1A of 3



2 3rd FLOOR REFLECTED CEILING PLAN  
SCALE 3/16" = 1' - 0"



3 BUILDING SECTION 'A'  
SCALE 3/16" = 1' - 0"

ZONING & BUILDING DATA			
Parcel: 6008001	Zoning District: RH-1		
C.B.C. Occupancy Group: R-3 / U	Lot Area: 2,500 sq. ft.		
C.B.C. Construction Type: V-B	Stories: 3		
Seismic Zone: Zone	Wind Exposure: 70 m.p.h.		
Climate Zone: Zone 12	Flood Zone: none		
Floor Areas (sq.ft.)	Existing	Proposed	Total
BASEMENT (lower) Conditioned	460.0	no change	460.0
1st FLR (middle) Conditioned	700.0	no change	700.0
2nd FLR (upper) Conditioned	610.0	no change	610.0
Total Conditioned	1,770.0	no change	1,770.0
Non-Conditioned	0.0	no change	0.0
Total Area	1,770.0	no change	1,770.0
Setbacks/Height	Existing	Proposed	Minimum
Front Yard	9'-8"	no change	15'-0" max.
Side Yard	0'-0"	no change	0'-0"
Rear Yard	49'-0"	no change	15'-0"
Height	0'-0"	no change	35'-0"
Parking	0 spaces	no change	no change

**CODES:**  
A. The work shall comply with the following building code publications in effect in the City of Clayton and Contra Costa County:  
2016 California Building Code  
2016 California Residential Code  
2016 California Electrical Code  
2016 California Mechanical Code  
2016 California Plumbing Code  
2016 California Fire Code  
2016 Building Energy Efficiency Standards for Residential Buildings.

Peter Tan - DBI MECH  
DEPARTMENT OF  
BUILDING INSPECTION  
November 09, 2022

Mark Walls DBI - BLDG  
DEPARTMENT OF  
BUILDING INSPECTION  
November 09, 2022

VICINITY MAP  
NORTH  
N.T.S.

**SHEET INDEX**  
1. SITE PLAN, SHEET INDEX, SCOPE OF WORK, BUILDING SECTION, REFLECTED CEILING PLAN, GENERAL NOTES, BUILDING IN ZONING DATA, VICINITY MAP, ABBREVIATIONS  
2. EXISTING FLOOR PLAN IN EXTERIOR ELEVATIONS.  
3. PROPOSED FLOOR PLAN EXTERIOR ELEVATIONS

**SCOPE OF WORK:**  
NEW ADU AND (R) CURB CUT FOR  
(E) DRIVEWAY ACCESS

PLANNING  
November 09, 2022

PUBLIC UTILITIES  
COMMISSION  
November 09, 2022

Capacity Charges  
Water: \$0  
Wastewater: \$0  
JF 11/09/22

Approval of the ADU does not relieve the owner from complying with local code requirements concerning the right-of-way.

Clinton Choy - PW BSM  
PUBLIC WORKS  
November 10, 2022

Sara Stacy - PW BUF  
PUBLIC WORKS  
November 16, 2022

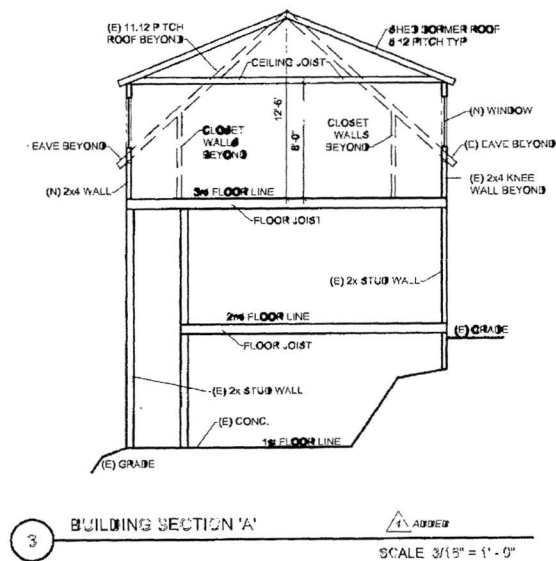
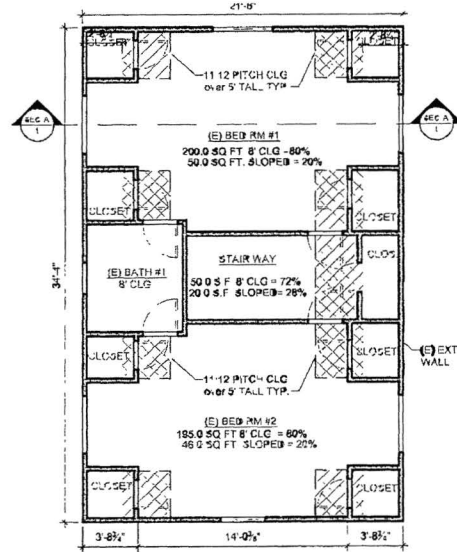
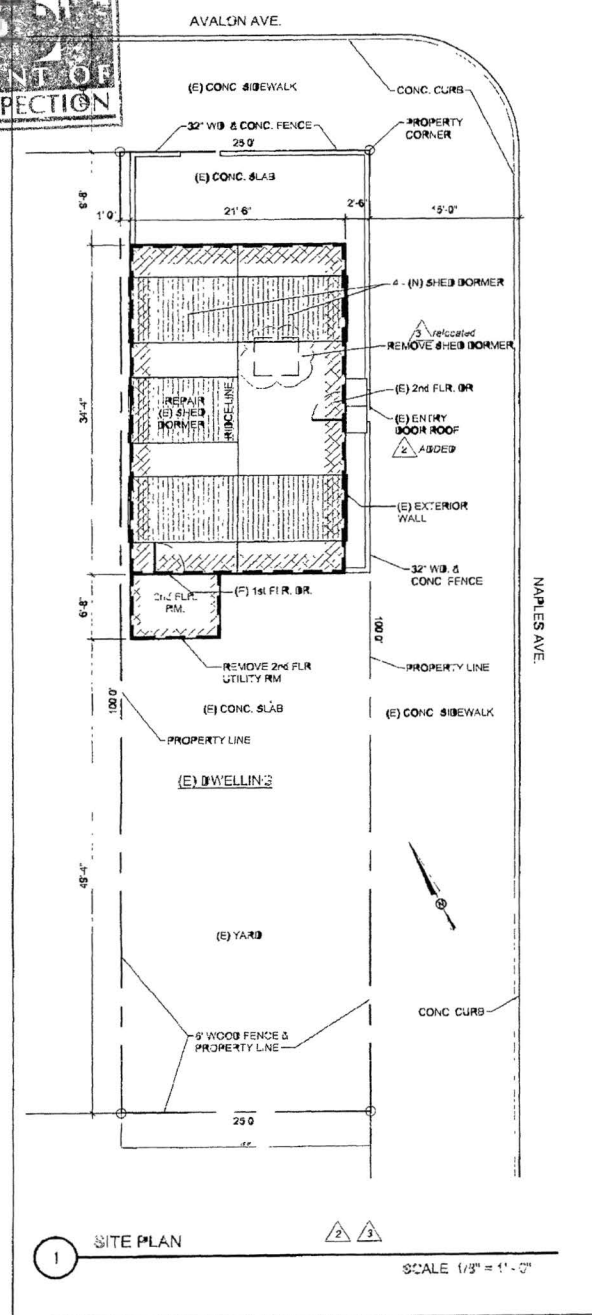
**APPROVED**  
Dept. of Building Insp.  
- San Francisco -

January 10, 2023  
202108096049\_DWGS REV7  
PATRICK O'RIOURAN  
INTERIM DIRECTOR  
DEPT. OF BUILDING INSPECTION

PLAN REVISION  
11/7/2022  
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY STANDARDS FOR BUILDING  
ACCEPTED BY

1. Gas vent terminations shall meet the requirements of CMC802.6 & SFMC 802.6
2. Combustion air shall meet the requirements of CMC chapter 7
3. Environmental air ducts shall terminate 3 ft from property line and 3 ft from openings into the building per CMC 502.2.1 and provide back draft dampers per CMC 504.1.1
4. Domestic range hood vents shall meet the requirements of CMC 504.3 and comply with CMC Table 403.7
5. Upper cabinets shall be minimum 30 inches above cook top per CMC 921.3.2 provide the cooking appliances minimum clearance to combustible materials per CMC 921.3.1
6. All interior spaces intended for human occupancy shall be provided space heating per CMC 921.3.1
7. Clothes dryer exhaust shall be minimum 4 inches and terminate to the outside of the building shall be equipped with back draft damper and meet the requirements of CMC 504.4.2
8. Direct vent appliances per CMC 802.2.4 (not manufacturer's instructions) & "N.M.C." 2012 f. 2
9. Lighting per CEC 150 (k)
10. Minimum rated separation between dwelling units per CBC 420.3 penetrations through horizontal assemblies shall comply with CMC 714.4 & 717.6



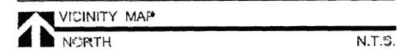


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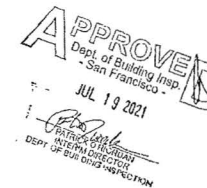


## SHEET INDEX

- SITE PLAN, SHEET INDEX, SCOPE OF WORK, BUILDING SECTION, REFLECTED CEILING PLAN, GENERAL NOTES, BUILDING IN ZONING DATA, VICINITY MAP, ABBREVIATIONS
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- PROPOSED FLOOR PLAN EXTERIOR ELEVATIONS

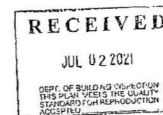
## SCOPE OF WORK STATEMENT

- LEGALIZE THE INSTALLATION OF WINDOWS THAT WERE NOT PREVIOUSLY APPROVED (S) TOTAL WINDOWS
- DOCUMENT CHANGES TO INTERIOR STAIRS
- EXISTING MECHANICAL CLOSET



David Jones, DBI  
JUL 08 2021

Approved Planning Dept. Alex Westing  
JUL 02 2021



For Reference Only

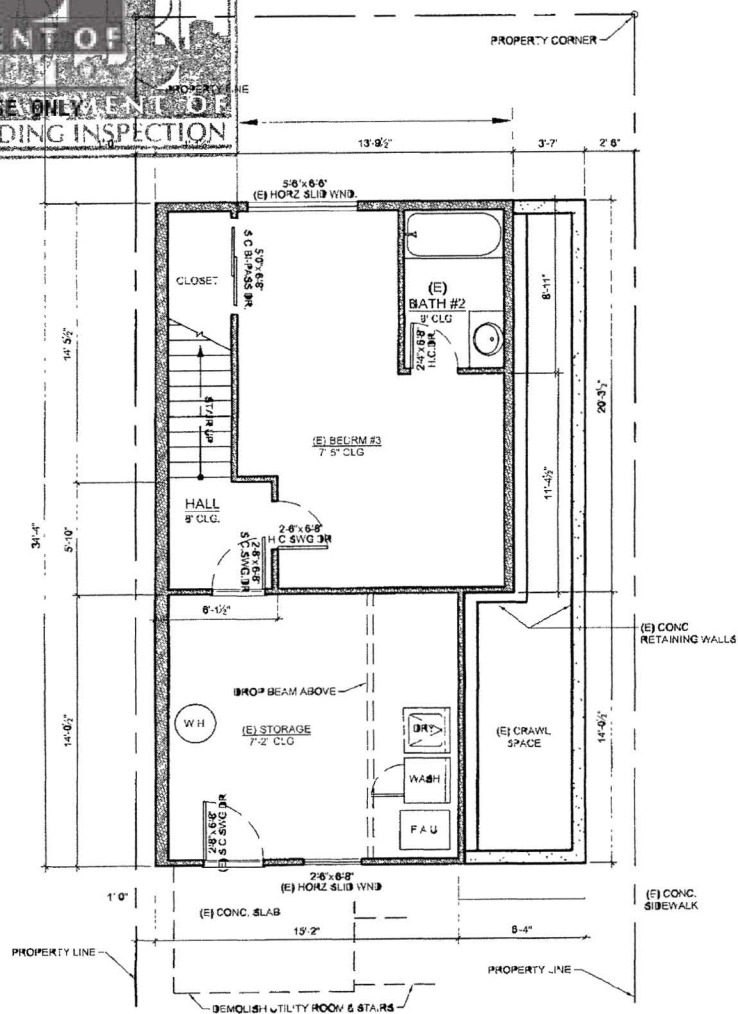


No.	Description	Date
1	Updated scope of work	6/23/21

PAT GALLAGHER  
ADDITION &  
RENOVATION  
200 NAPLES ST. SAN  
FRANCISCO CA 94111  
PH: 925-325-3911

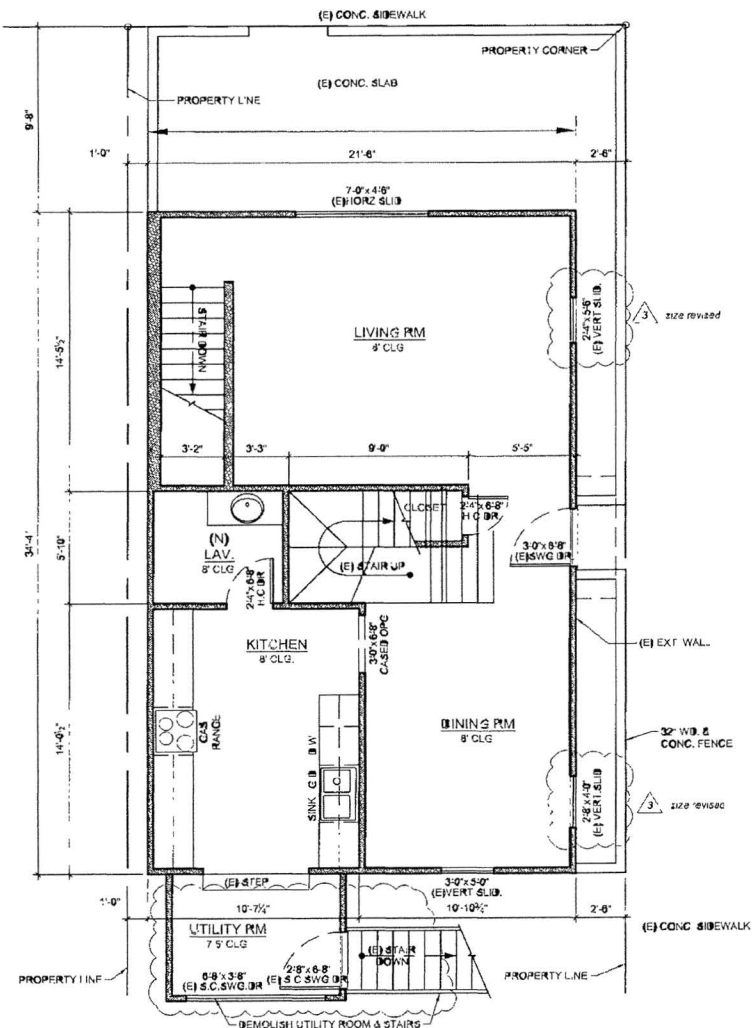
CHECKED BY	Checker
DRAWN BY	Jneal
SCALE	AS SHOWN
DATE	06.23.21
PROJECT NO.	21023
PHASE NO.	
SHEET NO.	1 of 4





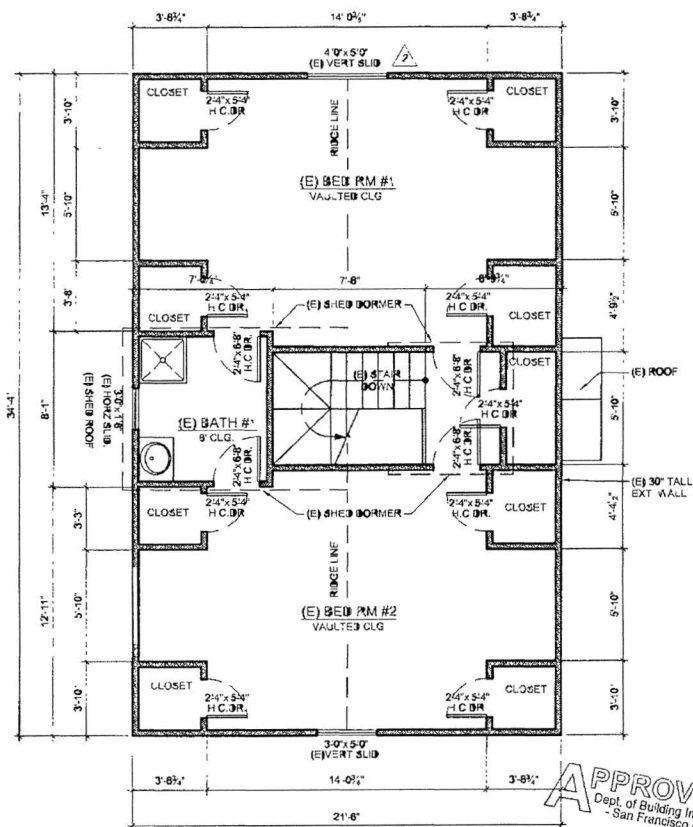
1 EXISTING 1st FLOOR PLAN (LOWER)

SCALE 1/4" = 1' - 0"



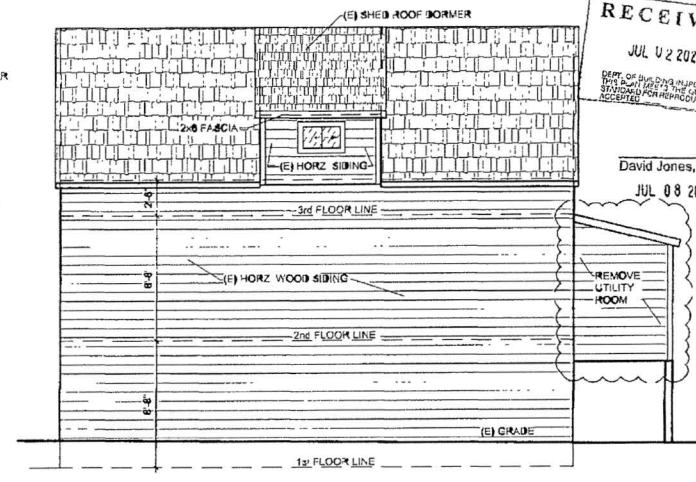
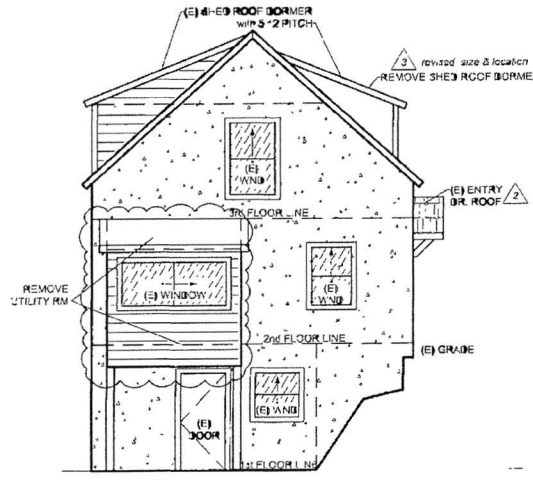
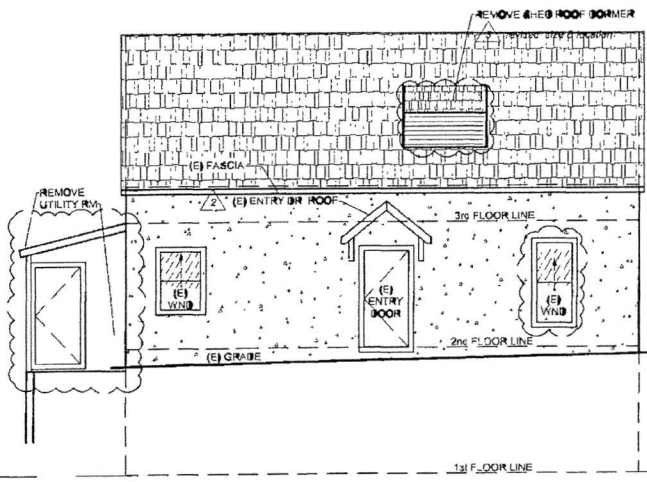
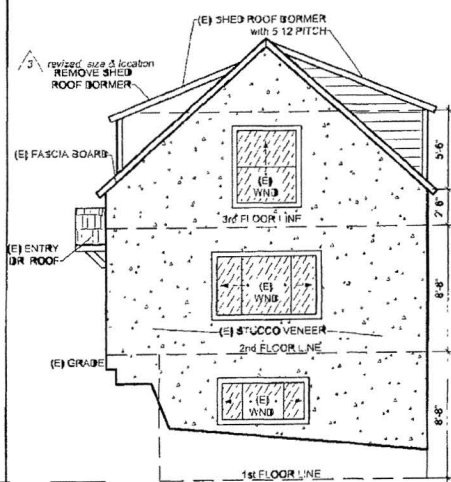
2 EXISTING 2nd FLOOR PLAN (MIDDLE)

SCALE 1/4" = 1' - 0"



3 EXISTING 3rd FLOOR PLAN (UPPER)

SCALE 1/4" = 1' - 0"



RECEIVED  
JUL 02 2021  
DEPT. OF BUILDING INSPECTION  
SAN FRANCISCO

David Jones, DBI  
JUL 08 2021

EXISTING  
FLOOR PLANS

CHECKED BY: Jneal  
DRAWN BY: Jneal  
SCALE: AS SHOWN  
DATE: 06 23 21  
PROJECT NO: 21023  
PHASE NO:

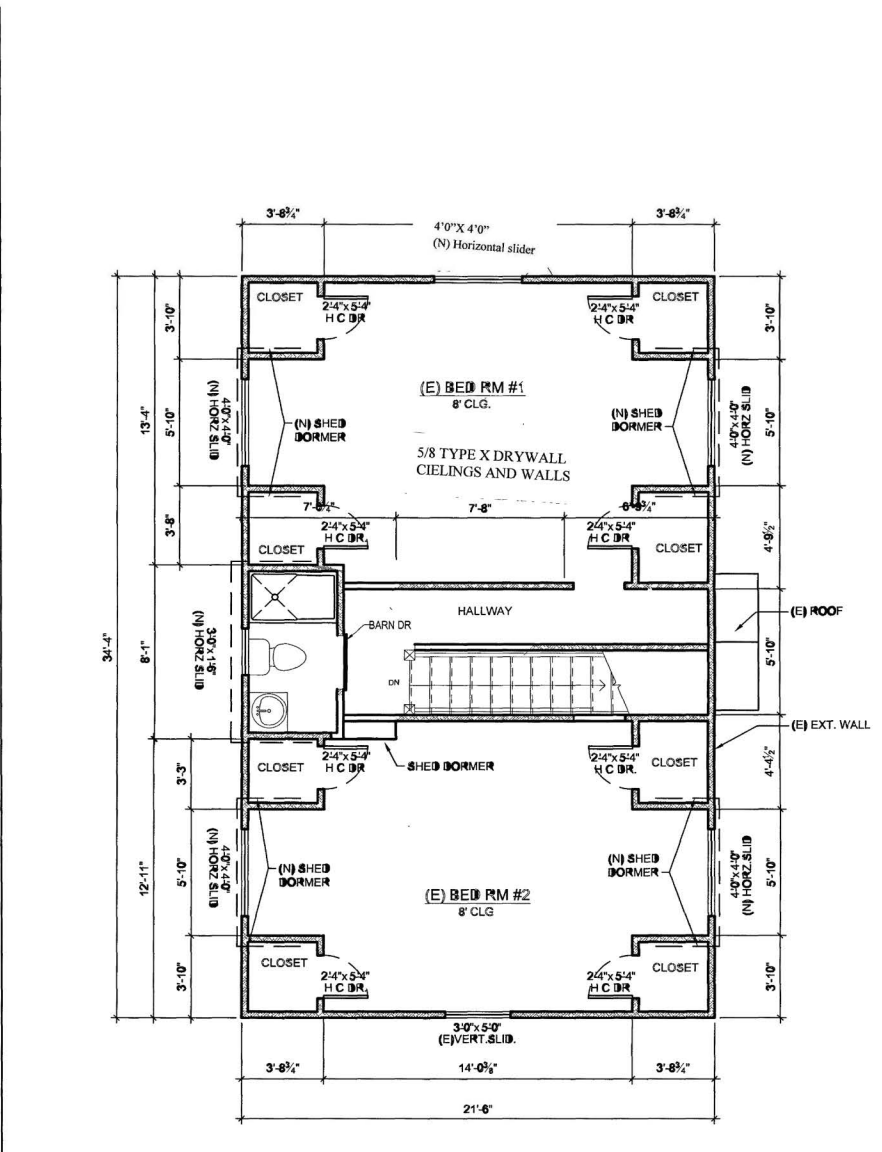
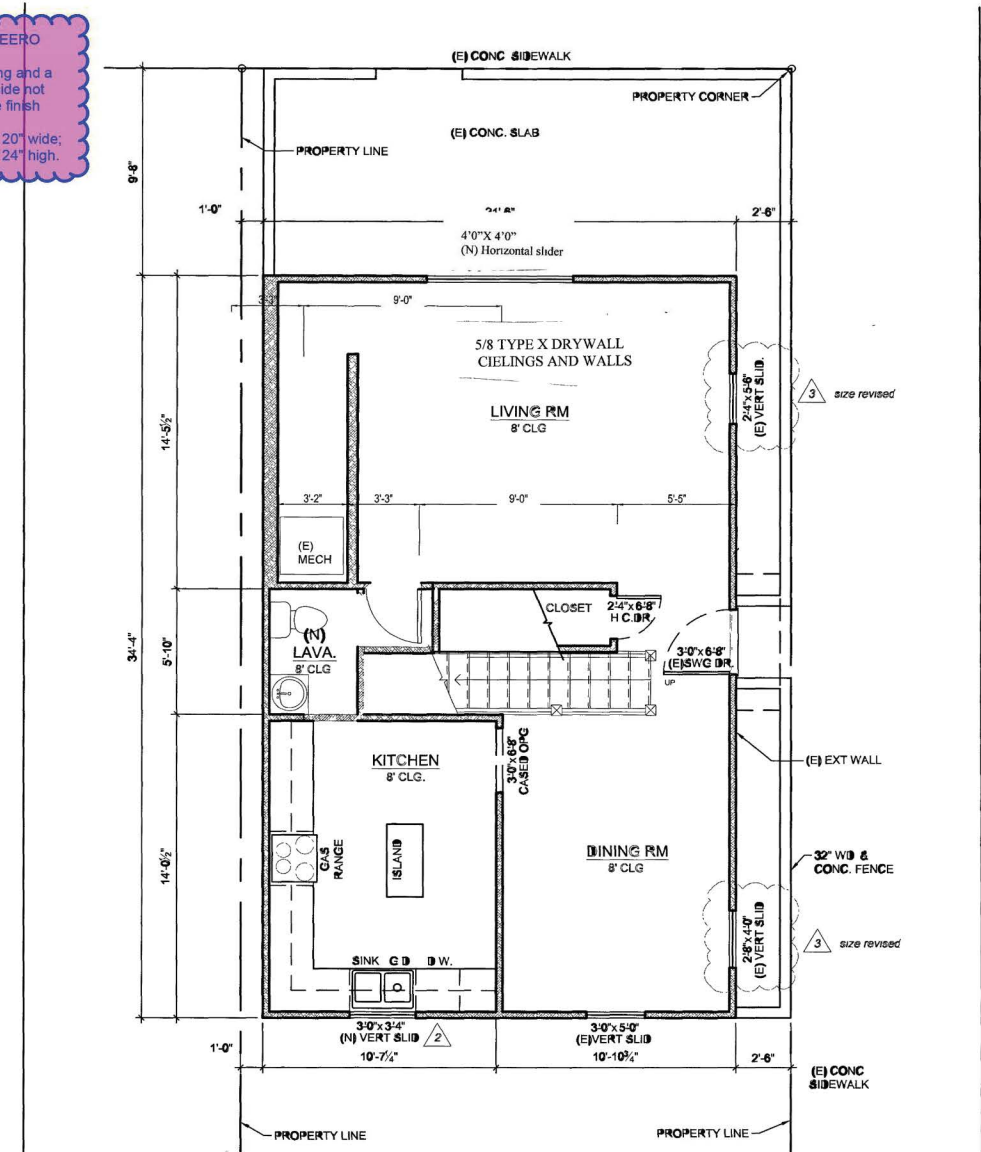
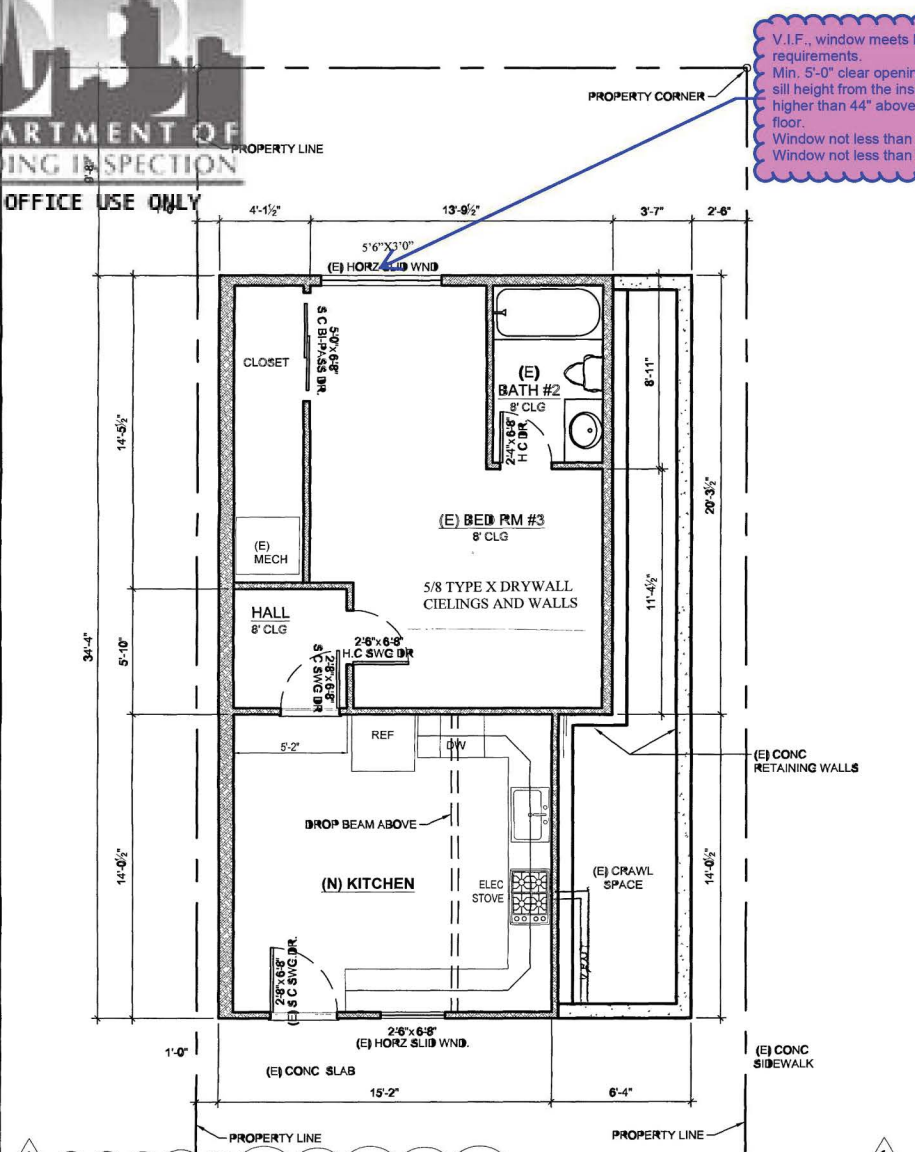
SHEET NO: 2 of 2

For Reference Only

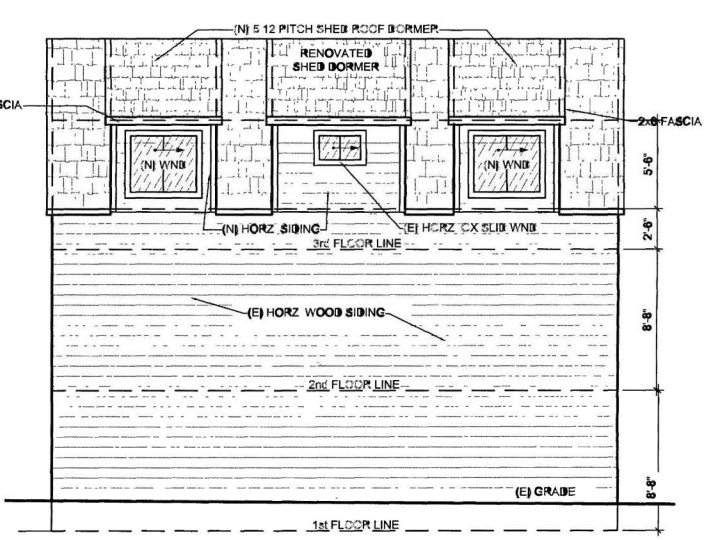
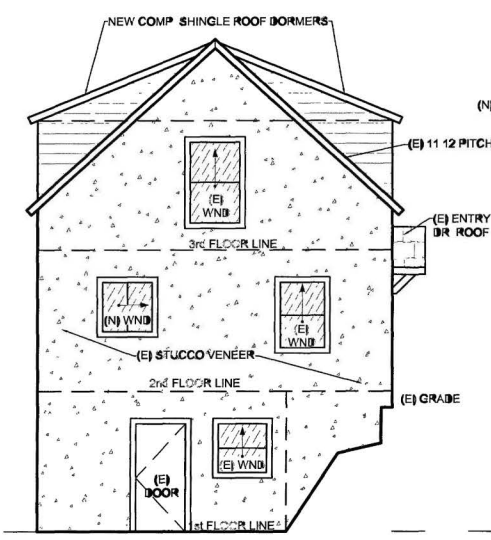
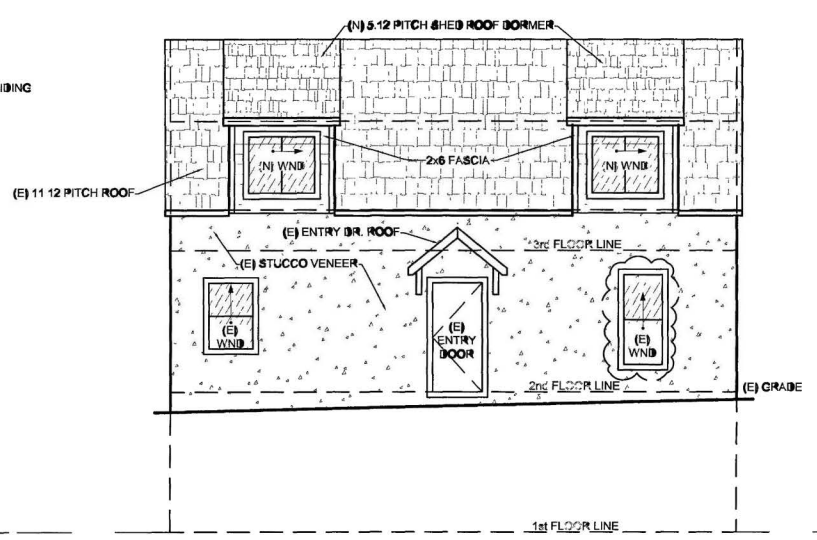
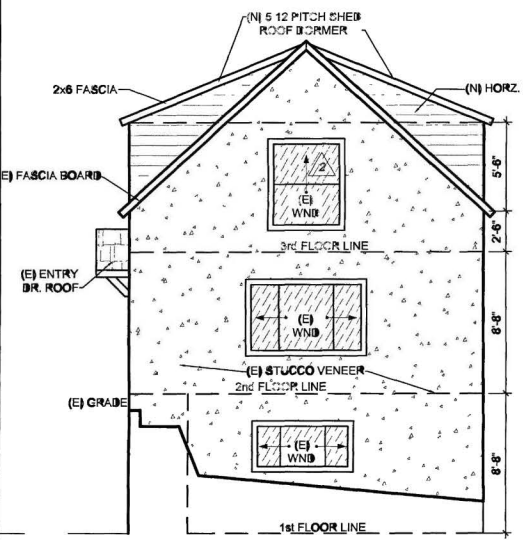




FOR OFFICE USE ONLY



~~SCOPE OF WORK:  
NEW ADU AND (N) CURB CUT FOR  
(E) DRIVEWAY ACCESS - KITCHEN  
APPROVED FROM PREVIOUS  
PERMIT~~



4 PROPOSED EXTERIOR ELEVATION - NAPLES AVE.

DESIGN COLLABORATIVE  
ARCHITECTURAL / CIVIL DESIGN & DRAFTING SERVICES  
John Neal  
808 Yosemite Way  
Sausalito, CA 94965  
707-470-6130  
jneal\_dc@comcast.net  
John R. Neal

No.	Description	Date
1	Updated scope of work - ADU	6/23/21

PAT GALLAGHER  
ADDITION &  
RENOVATION  
200 NAPLES ST. SAN  
FRANCISCO CA 94112  
PH: 925-325-3911

APPROVED  
Dept. of Building Insp.  
- San Francisco -  
January 10, 2023  
20210809049\_DWGS REV7  
Patrick O'Riordan  
INTERIM DIRECTOR  
DEPT. OF BUILDING INSPECTION

PROPOSED FLOOR PLANS

PLAN REVISION  
11/7/2022  
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY STANDARDS FOR BUILDING  
ACCEPTED BY

CHECKED BY: \_\_\_\_\_  
DRAWN BY: Jneal  
SCALE: AS SHOWN  
DATE: 07.26.21  
PROJECT NO: 21023-A  
PHASE NO: \_\_\_\_\_

SHEET NO: 3 of 3



San Francisco Building Code AB-009

Recording Requested by and when Recorded Mail to

City and County of San Francisco  
Joaquin Torres, Assessor-Recorder  
7/12/2021 11:54:28 AM  
Pages 1 Title 398 KG Taxes \$14.00  
Customer 001 Other \$0.00  
S&B Fees \$75.00  
Paid \$89.00

Director, San Francisco  
Department of Building Inspection  
49 South Van Ness Avenue  
San Francisco, CA 94103-2414

DECLARATION OF USE LIMITATION

I, We, PATRICK GALLAGHER owner/s of the herein described property Commonly known as 200 MAPLES ST in San Francisco, Assessor's Block No. 6068, Lot No. 001 hereby consent to the within described limitations that:

In the event that the property located at 530 AVENUE AVE commonly known as Block No. 6068, Lot No. 46 is improved in such a manner that the openings in the building located at 200 MAPLES ST, no longer comply with the San Francisco Building Code, then said openings shall be closed off or protected as required by the Director of the Department of Building Inspection.

The herein limitations shall be binding on me/us until amended by conforming to the San Francisco Building Code Requirements.

Signed, [Signature] PATRICK GALLAGHER  
OWNERS

Date of Execution: 7/12/21

NOTARY ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA  
County of SANTA CLARA

On July 12, 2021 before me, CHARLES D. DEWITT, Notary Public (print name and title of the officer)

personally appeared PATRICK GALLAGHER

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature [Signature] (Seal)

CHARLES DEWITT  
Notary Public - California  
County of Santa Clara  
Commission # 7310243  
My Comm. Expires on 11/18/2023



DEPARTMENT OF BUILDING INSPECTION  
City & County of San Francisco  
49 South Van Ness Ave. San Francisco, California 94103

AB-009 ATTACHMENT A

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED \_\_\_\_\_ [Note: This form shall be recorded as part of the permanent construction records of the property]

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If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0702-5726

Property Address: 200 MAPLES

Block and Lot 6068 001 Occupancy Group: R3 Type of Construction V No. of Stories: 2

Describe Use of Building: DUPLEX

Under the authority of the 2019 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2019 San Francisco Mechanical Code, Section 302.2; the 2019 San Francisco Electrical Code, Section 89.11.7; and the 2019 San Francisco Plumbing Code, Section 301.3, the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

OPENINGS IN PROPERTY LINE WALL

NOT PERMITTED PER SBC SECTION

705.8

AB-009 Attachment A REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

Proposed Modification or Alternate

INSTALL FIXED 3/4" HP FIBER

RESISTANCE RATED WINDOWS &

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FROM ANY EXISTING OPENING IN ADJACENT

BUILDING.

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Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER

Print Name: PATRICK GALLAGHER

Signature: \_\_\_\_\_

Telephone: 925-325-3211

AB-009 Attachment A REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

PLAN REVIEWER COMMENTS:

RECOMMENDATIONS: (signed off/dated by:)

Plan Reviewer: David Jones, DBI

Division Manager: [Signature]

for Director of Bldg. Inspection: [Signature]

for Fire Marshal: \_\_\_\_\_

CONDITIONS OF APPROVAL or OTHER COMMENTS

RECEIVED  
JUL 19 2021  
DEPT. OF BUILDING INSPECTION  
49 SOUTH VAN NESS AVENUE  
SAN FRANCISCO, CA 94103

David Jones, DBI  
JUL 19 2021

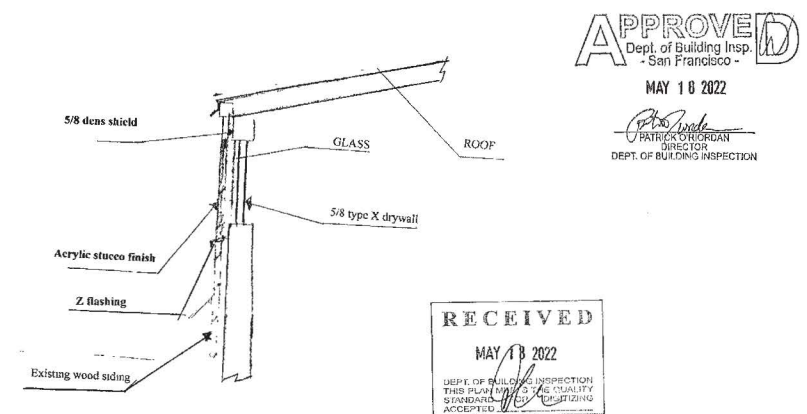
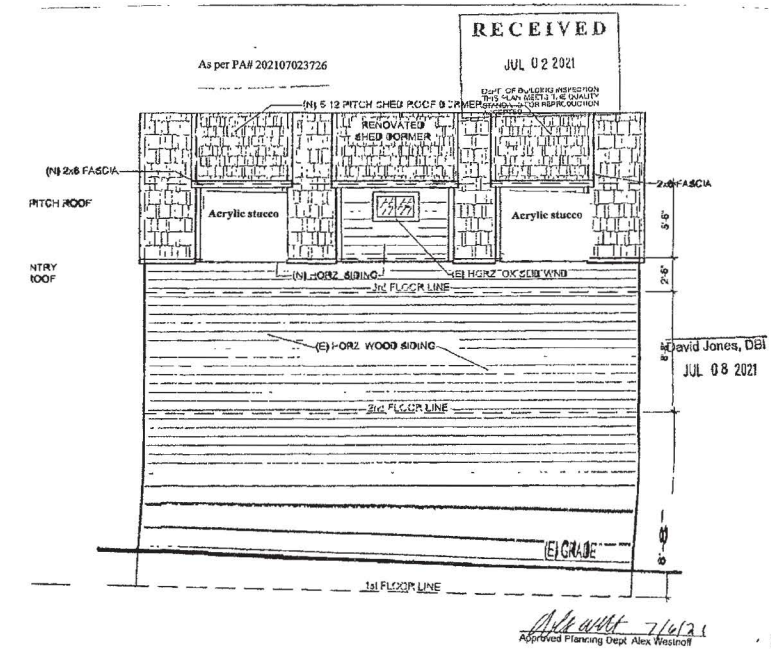
For Reference Only

12  
11  
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5  
4  
3  
2  
1



Scope:  
Revision PA 2021 07023726  
To Show New Detail to cover  
existing window with acrylic stucco

Building:  
TYPE I-B, 2 story, single family dwelling.



David Jones, DBI  
MAY 18 2022

200 Naples St 20220518 4515



# Exhibit B

No. 2021-0702-37261/21/22

20

CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF BUILDING INSPECTION**CORRECTION NOTICE  
AND REPORT**

Location

200 NAPLES ST.

Remarks:

1/ DOCUMENT CHANGES TO  
FRONT FACADE - WINDOW SIZES  
& BUILDING FINISHES.2/ WINDOWS AT UPSTAIRS BEDROOM  
DO NOT MEET UPSTAIRS EGRESSCode  
Section1030.2.13/ PROPERTY LINE WINDOWS NEED  
TO COMPLY WITH ALCOG & BE APP  
NOTE ON APPROVED PLANS - "FIXED3/4 HR FIRE RESISTANCE WINDOW4/ FIRE UNDER SIDE OF STAIRS  
FROM 1<sup>ST</sup> - 2<sup>ND</sup> FLOOR.DOWN STAIR - BASEMENT5/ CONSTRUCT LOWER LEVEL AS PER  
APPROVED PLANS - REMOVE KITCHEN  
& INSTALL LAUNDRY -6/ REMOVE & CAP FURNACE PID  
PERMIT REQUIRED.7/ DOCUMENT CEILING HEIGHT1207.2

Contact Inspector

KEVIN BIRMINGHAMDiv. 171D1660 Mission Street or phone: 633-652-3606

Supervisor

MATT GREEN

Date

1/24/22

9003-M44 (Rev. 2/02)

REP-18 Correction Notice